

MERCER COUNTY PLANNING BOARD
MAY 13, 2020
ZOOM MEETING
9:00 A.M.

AGENDA

1. Statement of Adequate Notice

Pursuant to the Sunshine Law, notice of this meeting was sent to the Trenton Times and posted on the Mercer County Planning Web Page on April 29, 2020 and posted in the County Administration Building on May 5, 2020.

2. Approval of Minutes of March 11, 2020

3. Public Comment

4. Old Business

- a. **Appeal by OTR East Windsor Investors, LLC.** – The continuation of the Board’s action on this appeal is postponed due to the delay in the Board’s Attorney receipt of supportive court cases from the Applicant’s Attorney requested at the March 11, 2020 Planning Board meeting.
- b. **Mercer County Planning Board Resolution No. 2020-02**
Proposed Amendment to the Mercer County Water Quality Management Plan, “Daniel Popkin Residential,” and associated expansion of the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility sewer service area.
- c. **Mercer County Planning Board Resolution No. 2020-03**
Proposed Amendment to the Mercer County Water Quality Management Plan, “Dynamic-Hilco Warehouse [Duck Island],” and associated expansion of the Trenton Sewer Utility’s sewer service area.

5. New Business

- a. **Mercer County Planning Resolution No. 2020-04**
Resolution to enter Executive Session on May 20, 2020 for the purpose of discussing anticipated litigation regarding OTR East Windsor Investors, LLC.

6. Correspondence

7. Adjournment

Land Development Committee will follow

Subject: Proposed Amendment to the Mercer County Water Quality Management Plan titled “Daniel Popkin Residence” for the adjustment of the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility sewer service area

WHEREAS, the Mercer County Planning Board has been petitioned by citizen Daniel Popkin to amend the Mercer County Water Quality Management Plan (WQMP) and adjust the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility sewer service area (SSA); and

WHEREAS, Goldenbaum Baill Engineering, Inc., representing Daniel Popkin, prepared an amendment to the Mercer County WQMP titled “Daniel Popkin Residence” which calls for expanding the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility SSA to accommodate the connection of three existing buildings to sanitary sewer, due to an inadequate existing septic system and lack of the proper conditions in which to install a new septic system; and

WHEREAS, the Popkin residential property which is the subject of this amendment is located in Hopewell Township, Mercer County, within Block 46, on a portion of Lot 15.02; and

WHEREAS, the proposed adjustment would result in a net expansion of the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility SSA within Hopewell Township by 1.66 acres; and

WHEREAS, the proposed project site: Block 46, a portion of Lot 15.02, represents a contiguous area located within Hopewell Township, bordering Pennington Borough, to the east of Main Street; and

WHEREAS, said property is adjacent to existing sanitary sewer infrastructure; and

WHEREAS, the projected wastewater flow of the project is 300 gallons per day; and

WHEREAS, both the Township of Hopewell, and the Stony Brook Regional Sewerage Authority have adopted resolutions in support of the amendment and associated expansion of the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility sewer SSA; and

WHEREAS, the New Jersey Department of Environmental Protection (NJDEP) published notice of said amendment in the New Jersey Register on February 03, 2020, and the applicant arranged for a public notice to be published in both the Trenton Times and Trentonian newspapers on February 03, 2020, advising of a public hearing and seeking public comment concerning the proposed amendment to the Mercer County Water Quality Management Plan to adjust the Stony Brook Regional Sewerage Authority’s Pennington Treatment Facility sewer service area; and

WHEREAS, a public hearing was held by the Mercer County Planning Board on March 11, 2020 concerning the amendment; and

WHEREAS, no public commentary regarding this amendment was received at the March 11, 2020 Mercer County Planning Board public hearing; and

WHEREAS a verbatim transcript of the hearing and said commentary was forwarded to the New Jersey Department of Environmental Protection; and

WHEREAS, no further public commentary was received; and

WHEREAS, the period for public comment came to a close on March 26, 2020; and

WHEREAS, the Planning Board has found the proposed amendment and sewer service area adjustment to be consistent with county and local policies for sewage treatment, growth management and land development; and

WHEREAS, the Planning Board recognizes the need to amend the Mercer County Water Quality Management Plan to provide for consistency with the proposed amendment and modification;

NOW THEREFORE BE IT RESOLVED, that the Mercer County Planning Board endorses to the County Executive for his consideration an amendment to the Mercer County Water Quality Management Plan titled, "Daniel Popkin Residence."

Date Adopted

Secretary

Subject: Proposed Amendment to the Mercer County Water Quality Management Plan titled “Dynamic-Hilco Warehouse” for the adjustment of the Trenton Sewer Utility sewer service area

WHEREAS, the Mercer County Planning Board has been petitioned by Hilco Redevelopment Partners Mercer, LLC to amend the Mercer County Water Quality Management Plan (WQMP) and adjust the Trenton Sewer Utility sewer service area (SSA); and

WHEREAS, Dynamic Engineering Consultants, PC, representing Hilco Redevelopment Partners Mercer, LLC, prepared an amendment to the Mercer County WQMP titled “Dynamic-Hilco Warehouse” which calls for expanding the Trenton Sewer Utility SSA to aid in the redevelopment of the erstwhile PSEG Generating Station, located in Hamilton Township, Mercer County, within Block 2506, on portions of Lots 6, 8, 22, and 27; and

WHEREAS, the proposed adjustment would result in a net expansion of the Trenton Sewer Utility sewer service area within the City of Trenton by 87.10 acres; and

WHEREAS, the proposed project site: Block 2506, portions of Lots 6, 8, 22, and 27, represent a contiguous area located within Hamilton Township, along the Delaware River, in the area known as “Duck Island,” to the south of Route 29, and east of Route 295; and

WHEREAS, the projected wastewater flow of the project is 33,000 gallons per day; and

WHEREAS, both the Township of Hamilton, and the Trenton Sewer Utility have adopted resolutions in support of the amendment and associated expansion of the Trenton Sewer Utility SSA; and

WHEREAS, the New Jersey Department of Environmental Protection (NJDEP) published notice of said amendment in the New Jersey Register on January 06, 2020, and the applicant arranged for a public notice to be published the Trenton Times and Trentonian newspapers on January 13, 2020 and January 07, 2020, respectively, advising of a public hearing and seeking public comment concerning the proposed amendment to the Mercer County Water Quality Management Plan to adjust the Trenton Sewer Utility sewer service area; and

WHEREAS, a public hearing was held by the Mercer County Planning Board on February 12, 2020 concerning the amendment; and

WHEREAS, no public commentary regarding this amendment was received at the February 12, 2020 Mercer County Planning Board public hearing; and

WHEREAS a verbatim transcript of the hearing and said commentary was forwarded to the New Jersey Department of Environmental Protection; and

WHEREAS, no further public commentary was received; and

WHEREAS, the period for public comment came to a close on February 27, 2020; and

WHEREAS, the Planning Board has found the proposed amendment and sewer service area adjustment to be consistent with county and local policies for sewage treatment, growth management and land development; and

WHEREAS, the Planning Board recognizes the need to amend the Mercer County Water Quality Management Plan to provide for consistency with the proposed amendment and modification;

NOW THEREFORE BE IT RESOLVED, that the Mercer County Planning Board endorses to the County Executive for his consideration an amendment to the Mercer County Water Quality Management Plan titled, "Dynamic-Hilco Warehouse."

Date Adopted

Secretary

Subject: RESOLUTION AUTHORIZING THE
MERCER COUNTY PLANNING
BOARD TO CONDUCT AN
EXECUTIVE SESSION TO DISCUSS
ANTICIPATED LITIGATION AT A
SPECIAL MEETING SCHEDULED
FOR MAY 20, 2020.

WHEREAS, the New Jersey Open Public Meeting Act (N.J.S.A 10:4-7) specifically provides in Section 4-12(7) for a public body to exclude the public only from that portion of a meeting at which the public body discusses pending or anticipated litigation in which that public body may become a party or matters falling within the attorney-client privilege to the extent that confidentiality is required in order for the attorney to exercise his ethical duties as a lawyer; and,

WHEREAS, the Mercer County Planning Board (herein, “the Board”) has retained the services of Robert N. Ridolfi, Esq. as its legal counsel to represent the Board’s interests; and,

WHEREAS, the Board is in receipt of a formal Notice of Appeal filed by Thomas F. Carroll, III Esq. on behalf of his client, OTR East Windsor Investors, LLC (herein the Appellant”) challenging the decision of the Mercer County Planning Board Land Development Committee rendered on December 18, 2019 the Appellant’s formal application for Preliminary and Final Site Plan Approval for its project to be located at Block 3, Lots 3 & 3.02, West Windsor Township, Mercer County, New Jersey (herein “the Property”); and,

WHEREAS, the Appellant has served upon the Board its legal memorandum dated April 28, 2020 in support of its appeal; and,

WHEREAS, The Board feels that it is in its best interest to provide an opportunity for it to discuss the merits of said memorandum with its legal counsel in Executive Session in order for the Board’s counsel to properly exercise his ethical duty as a lawyer to the Board; now therefore,

BE IT RESOLVED, that the Board be and is hereby authorized to conduct an Executive Session to discuss the above-referenced matter at its meeting scheduled on May 13, 2020; and,

BE IT FURTHER RESOLVED, that the Secretary to the Board file a copy of this Resolution in with the minutes of the Board for said Meeting and with the Mercer County Planning Department for further distribution as may be appropriate.

Dated: _____

Richard Smith, Board Secretary

LAND DEVELOPMENT COMMITTEE

MAY 13, 2020

Present: ___ Michael E. Shine, Chairman, Mercer County Planning Board
 ___ Bill Agress, Vice Chairman, Mercer County Planning Board
 ___ Leslie R. Floyd, Planning Director, Mercer County Planning
 Division
 ___ George Fallat, Mercer County Engineer

<u>Type of Development</u>	<u>Name of Development</u>	<u>Municipality/Street/Block/Lot</u>
1. Site Plan MC #20-403	U-Haul Co. of Central Jersey	Ewing Township 1561 North Olden Avenue (CR 622) Block 13, Lot 29
Existing one-story building to be renovated and used as retail and storage space 70,193 (sf) with 42 parking spaces. The applicant states that the site is not on a County Road and the proposed development does not create a ¼ acre of new impervious surface.		
2. Site Plan MC #20-706	Princeton University Solar Array Project at Washington Road	West Windsor Township Washington Road (CR 571) & US Route 1 Block 4, Lot 1.01
The installation of a new solar panel system which is in addition to the existing system constructed in 2011 adjacent to the Delaware and Raritan Canal known as Field #1. The project includes a ground-mounted solar panel array system, located south of Washington Road along the west side of U.S. Route 1 and North of the Dinky Rail Line known as Field #2 (WWS002). A conduit from this project will be routed to the new Princeton University substation located on Block 3, Lot 1.01. The solar panel array system will consist of approximately 20.9 acres.		
3. Site Plan MC #20-702	Addition and Renovation to West Windsor Plansboro High School South	West Windsor Township 346 Clarksville Road (CR 638) & Princeton-Hightstown Rd.(CR 571) Block 17.13, Lot 2
Expansion of the existing High School and renovation of the existing parking lot to address the increase of 20 additional staff members, 100 additional students and 2 more buses.		
4. Site Plan MC #20-604	Hamilton Plaza Rothman	Hamilton Township 1061 Whitehorse-Mercerville Rd. & Kuser Rd. (CR 619) Block 2443, Lot 2
Demolition of the former Kmart garden center, internal reconfiguration of a portion of the former Kmart building to accommodate a new Rothman office at the existing Hamilton Plaza Shopping Center. Also includes the reconfiguration of the existing parking area adjacent to the proposed office with additional 32 parking spaces.		

<u>Type of Development</u>	<u>Name of Development</u>	<u>Municipality/Street/Block/Lot</u>
5. Minor Subdivision MC #20-801	Innovation Park at East Windsor	East Windsor Township 148-210 Princeton-Hightstown Rd. (CR 571) Block 5.01, Lots 12, 13, 14 & 15
Consolidations of existing lots and demolition of the existing 206,869 (sf) building for subdivision of the combined lots into three (3) new lots. New Lot 3.01 = 36.28 (ac), new Lot 13.02 = 21.81 (ac) and new Lot 13.03 = 28.37 (ac)		
6. Site Plan MC #20-802	Innovation Park at East Windsor	East Windsor Township 148-210 Princeton-Hightstown Rd. (CR 571) Block 5.01, Lots 12, 13, 14 & 15
Construction of two (2) warehouses buildings totaling 574,319 (sf) with 478 parking spaces. (needs cross access easements for driveways)		

The Land Development Committee reserves the right to remove an application from this agenda if the applicant fails to provide the missing items at or before this meeting that are necessary to make the subject application complete.

1. Site Plan
MC #20-403

U-Haul Co. of Central Jersey

Ewing Township
1561 North Olden Avenue (CR 622)
Block 13, Lot 29

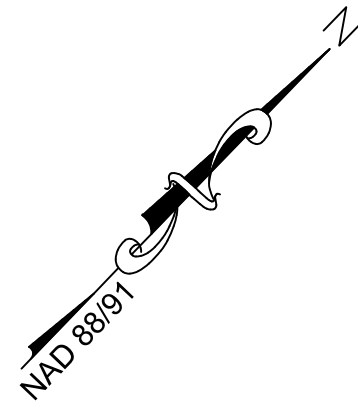
Existing one-story building to be renovated and used as retail and storage space 70,193 (sf) with 42 parking spaces. The applicant states that the site is not on a County Road and the proposed development does not create a ¼ acre of new impervious surface.

U-Haul Co. of Central Jersey - File # 20-403
1561 North Olden Avenue
Ewing Township
Block 13 Lot 29



May 2020

1 inch = 600 feet

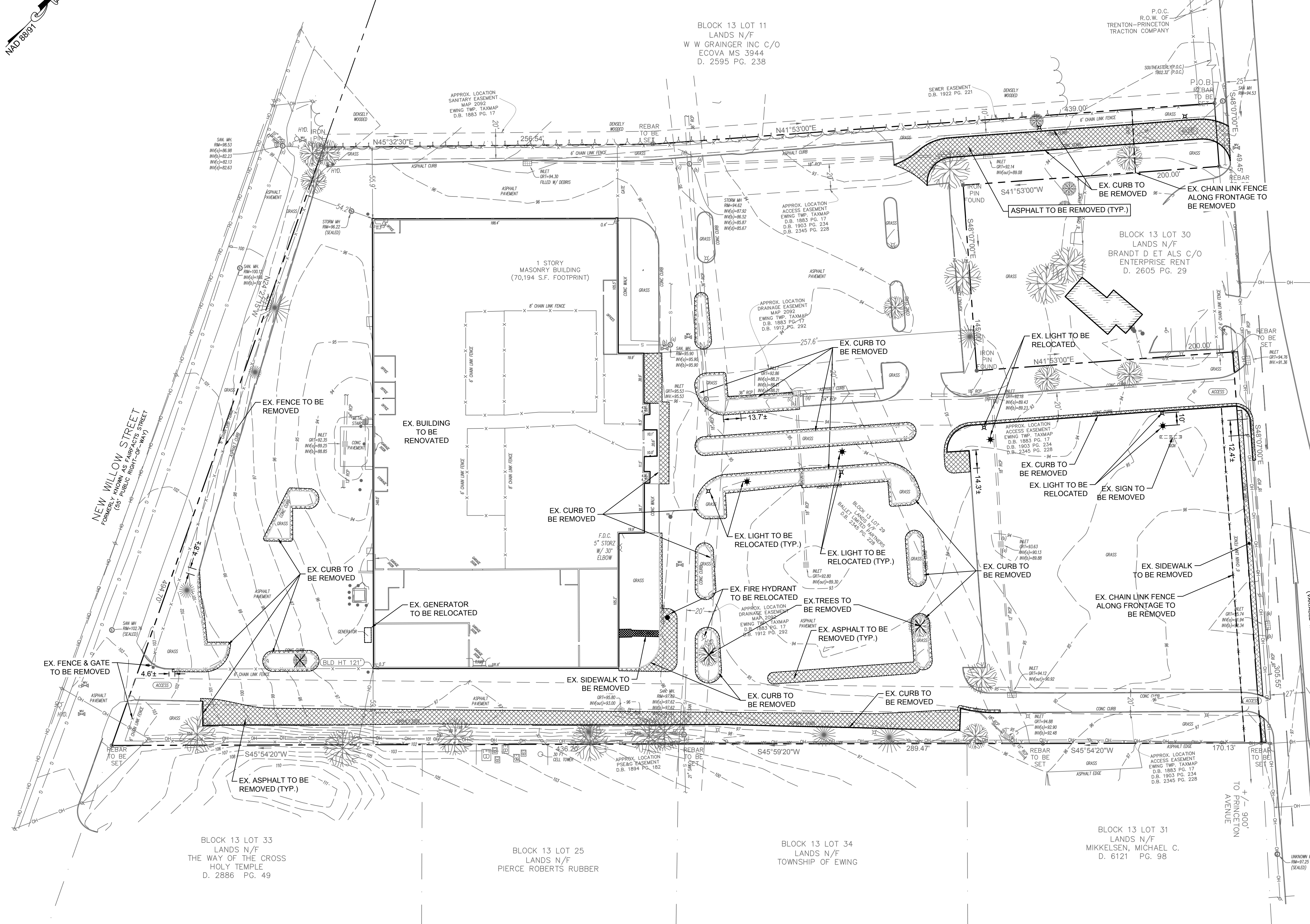


BLOCK 13 LOT 11
LANDS N/F
W W GRAINGER INC C/O
ECOVA MS 3944
D. 2595 PG. 238

LEGEND

ASPHALT REMOVAL

CURB REMOVAL



BLOCK 13 LOT 33
LANDS N/F
THE WAY OF THE CROSS
HOLY TEMPLE
D. 2886 PG. 49

BLOCK 13 LOT 25
LANDS N/F
PIERCE ROBERTS RUBBER

BLOCK 13 LOT 34
LANDS N/F
TOWNSHIP OF EWING

BLOCK 13 LOT 31
LANDS N/F
MIKKELSEN, MICHAEL C.
D. 6121 PG. 98

NOTE:
THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED 'ISSUED FOR CONSTRUCTION'.
COPYRIGHT 2019 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.

E&LP

140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION

NO.	REVISION	BY	DATE
7	REVISED PER COUNTY COMMENTS	CBR	03/04/20
6	REVISED PER RESOLUTION ENG. COMMENTS	CBR	02/13/20
5	REVISED PER RESOLUTION COMPLIANCE	CBR	01/30/20
4	REVISED TO INCLUDE EX. LIGHTING PLAN	CBR	11/04/19
3	REVISED PER TOWNSHIP RESOLUTION	CBR	10/09/19
2	PER TOWNSHIP ENG. & ENV. COMMENTS	CBR	09/20/19
1	PER TOWNSHIP COMMENTS	JMK	06/11/19

DATE: 03/04/2020

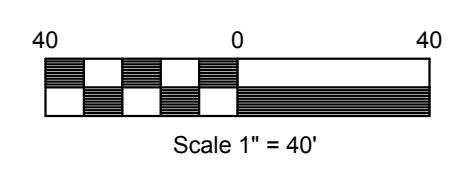
WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

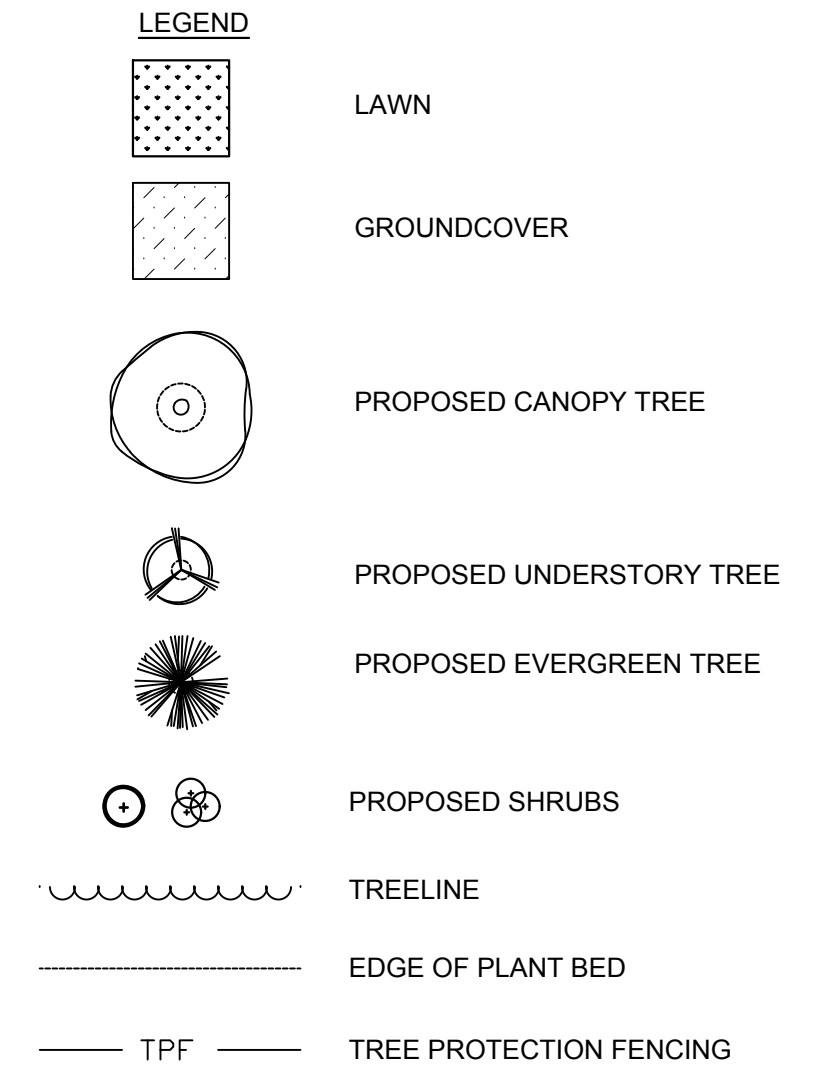
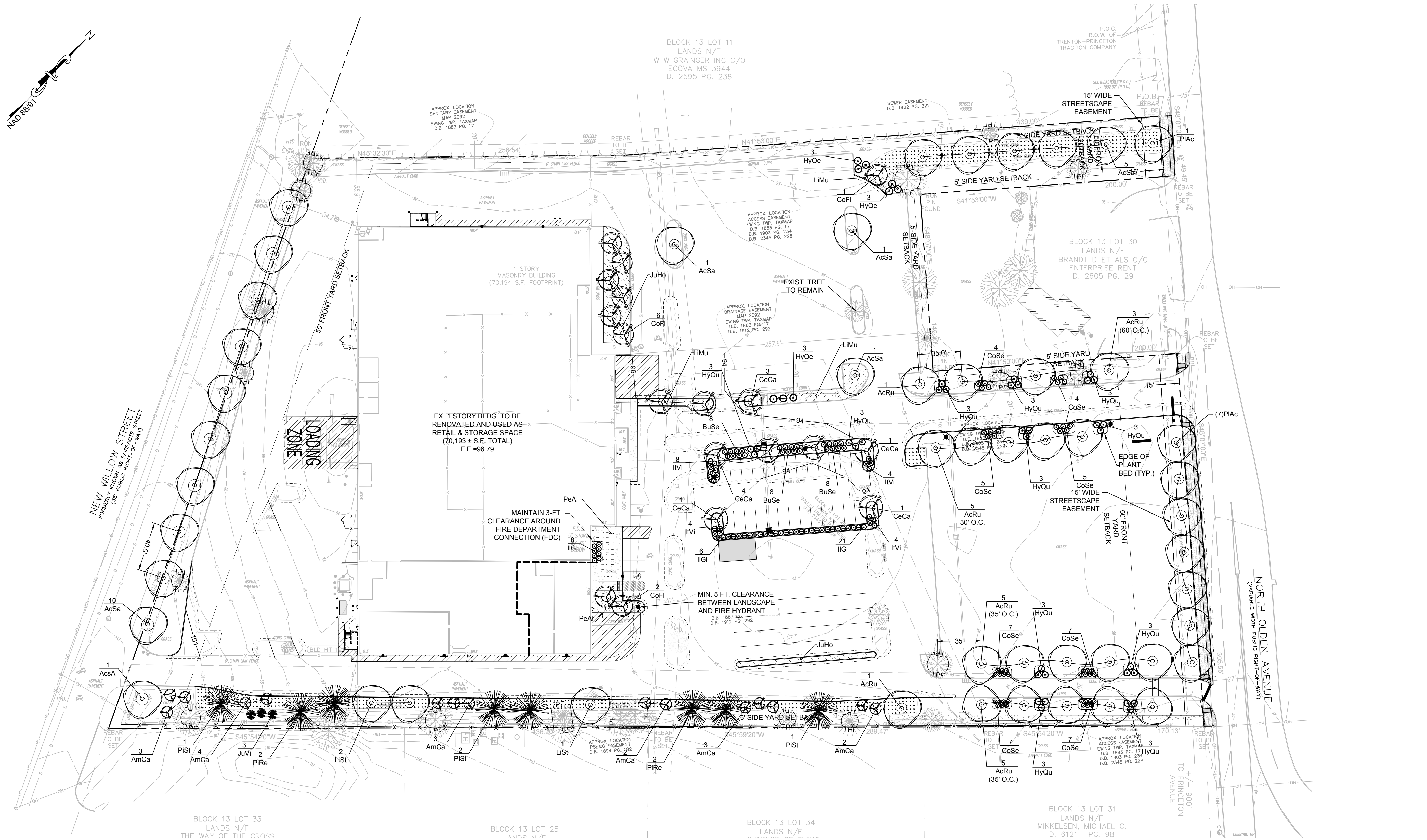
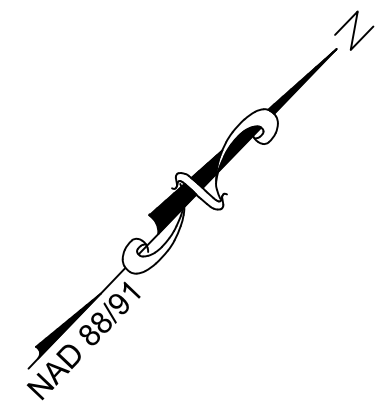
PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN U-HAUL OF EWING 1561 N OLDEN AVE BLOCK 13 LOT 29 EWING TOWNSHIP

MERCER COUNTY NEW JERSEY

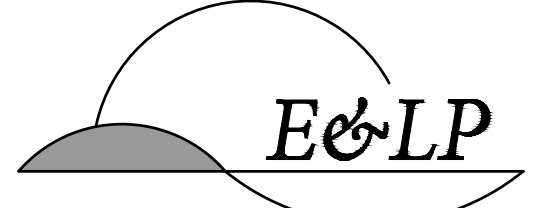
TITLE: **DEMOLITION PLAN**

JOB NO.:	0118399	DRAWING NO.:	5 11
SCALE:	1"=40'		
DESIGNED:	CBR		
CHECKED:	KO		
FILENAME:	05_DEMO.DWG		
DATE:	04/25/2019		





NOTE:
THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED 'ISSUED FOR CONSTRUCTION'.
COPYRIGHT 2019 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION

CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE
7	REVISED PER COUNTY COMMENTS	CBR	03/04/20
6	REVISED PER RESOLUTION ENG. COMMENTS	CBR	02/13/20
5	REVISED PER RESOLUTION COMPLIANCE	CBR	01/30/20
4	REVISED TO INCLUDE EX. LIGHTING PLAN	CBR	11/04/19
3	REVISED PER TOWNSHIP RESOLUTION	CBR	10/09/19
2	PER TOWNSHIP ENG. & ENV. COMMENTS	CBR	09/20/19
1	PER TOWNSHIP COMMENTS	JMK	06/11/19

DATE: 03/04/2020
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN U-HAUL OF EWING 1561 N OLDEN AVE BLOCK 13 LOT 29 EWING TOWNSHIP

MERCER COUNTY NEW JERSEY

TITLE: LANDSCAPE PLAN

JOB NO.:	0118399	DRAWING NO.:	7
SCALE:	1"=40'		11
DESIGNED:	CBR		
CHECKED:	KO		
FILENAME:	07_LANDSCOPE.DWG		
DATE:	04/25/2019		

PLANT SCHEDULE						
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	NOTES
CANOPY TREES						
AcSa	19	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM 'GREEN MOUNTAIN'	3" CAL.	PER PLAN	B&B
AcRu	20	OCTOBER GLORY RED MAPLES	ACER RUBRUM 'OCTOBER GLORY'	3" CAL.	PER PLAN	B&B
LiSt	3	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA 'MORAIN'	3" CAL.	PER PLAN	B&B
PIAc	8	LONDON PLANETREE	PLATANUS X ACERIFOLIA 'BLOODGOOD'	3" CAL.	PER PLAN	B&B
EVERGREEN TREES						
JuVi	3	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	4" TO 6" HT.	PER PLAN	B&B
PIGI	1	WHITE SPRUCE	PINUS GLAUCA VAR. DENSATA	6" TO 8" HT.	PER PLAN	B&B
PIRe	4	RED PINE	PINUS RESINOSA	8" TO 10" HT.	PER PLAN	B&B, STRAIGHT SPECIES NO CULTIVAR
PISt	4	EASTERN WHITE PINE	PINUS STROBUS	8" TO 10" HT.	PER PLAN	B&B, STRAIGHT SPECIES NO CULTIVAR
UNDERSTORY TREES						
AmCa	17	SHADBLow SERVICEBERRY	AMELANCHIER CANADENSIS 'TRAZAM'	2" CAL.	PER PLAN	B&B
CeCa	10	EASTERN REDBUD	CERCIS CANADENSIS 'PINK BUD'	2" CAL.	PER PLAN	B&B
CoFl	9	FLOWERING DOGWOOD	CORNUS FLORIDA 'CHEROKEE PRINCESS'	2" CAL.	PER PLAN	B&B
SHRUBS						
CoSe	46	REDOsier DOGWOOD	CORNUS SERICEA 'ARCTIC FIRE'	24-30" HT.	4' O.C.	CONT.
BuSe	24	COMMON BOXWOOD	BUXUS SEMPERVIRENS 'SUFFRUTIOSA'	24-30" HT.	4' O.C.	CONT.
HyQu	33	OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	36" HT.	8' O.C.	CONT.
IGI	35	INKBERRY	ILEX GLABRA	24-30" HT.	4' O.C.	CONT., STRAIGHT SPECIES NO CULTIVAR
IVI	20	VIRGINIA SWEETSPIRE	ITEA VIRGINICA 'HENRY'S GARNET'	24-30" HT.	4' O.C.	CONT.
GROUND COVER						
LiMu	1877 PLUGS	MAJESTIC LILY TURF GRASS	LIRIOPE MUSCARI 'MAJESTIC'	2 GAL.	18" O.C.	CONT.
JuHo	240 PLUGS	WILTON'S BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	2 GAL.	18" O.C.	CONT.
PeAl	84 PLUGS	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	2 GAL.	18" O.C.	CONT., STRAIGHT SPECIES NO CULTIVAR

LANDSCAPE NOTES:

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- COORDINATE ALL TREE LOCATIONS WITH SITE LIGHTING AND DRAINAGE STRUCTURES. ALL PLANTINGS TO BE KEPT 4' MIN. AWAY FROM ANY DRAINAGE STRUCTURE.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
- REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AREAS.
- PLANT MATERIALS SHALL BE MAINTAINED BEFORE, DURING AND AFTER IN THE BEST HORTICULTURAL CONDITION. CONTRACTOR SHALL PRUNE ALL DEAD OR DISEASED LIMBS, BRANCHES AND CANES FROM EXISTING DECIDUOUS AND CONIFEROUS TREES. METHODS SHALL REFLECT BEST HORTICULTURAL PRACTICES AS OUTLINED IN THE AMERICAN NURSERYMEN ASSOCIATION CERTIFICATION AND STANDARDS LATEST EDITION.
- THE CONTRACTOR SHALL REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
- ALL TOPSOIL SHALL BE PER SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIALS WITHIN

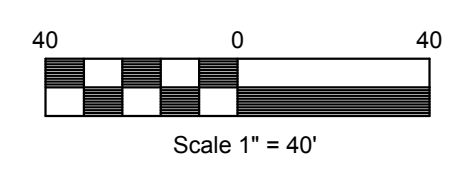
NOTE: LANDSCAPE SYMBOL SIZES ARE NOT INDICATIVE OF THE PLANT DIAMETER AND SHOULD NEVER BE SCALED FOR SIZE.

ONE GROWING SEASON FOR PLANT MATERIALS THAT ARE NO LONGER VIABLE

13. ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.

14. TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 6" DEPTH IN ALL LAWN AREA AND 20" DEPTH IN SHRUB BEDS AND GARDEN.

15. ALL REMAINING DISTURBED AREAS SHALL BE SEEDED UNLESS NOTED OTHERWISE. SEE SEEDING PREPARATION NOTES. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.



2. Site Plan
MC #20-706

Princeton University Solar Array
Project at Washington Road

West Windsor Township
Washington Road (CR 571) &
US Route 1
Block 4, Lot 1.01

The installation of a new solar panel system which is in addition to the existing system constructed in 2011 adjacent to the Delaware and Raritan Canal known as Field #1. The project includes a ground-mounted solar panel array system, located south of Washington Road along the west side of U.S. Route 1 and North of the Dinky Rail Line known as Field #2 (WWS002). A conduit from this project will be routed to the new Princeton University substation located on Block 3, Lot 1.01. The solar panel array system will consist of approximately 20.9 acres.

Princeton University Solar Array - File # 20-706
Washington Road (CR 571) & US Route 1
West Windsor Twp.
Block 4 Lot 1.01



Princeton

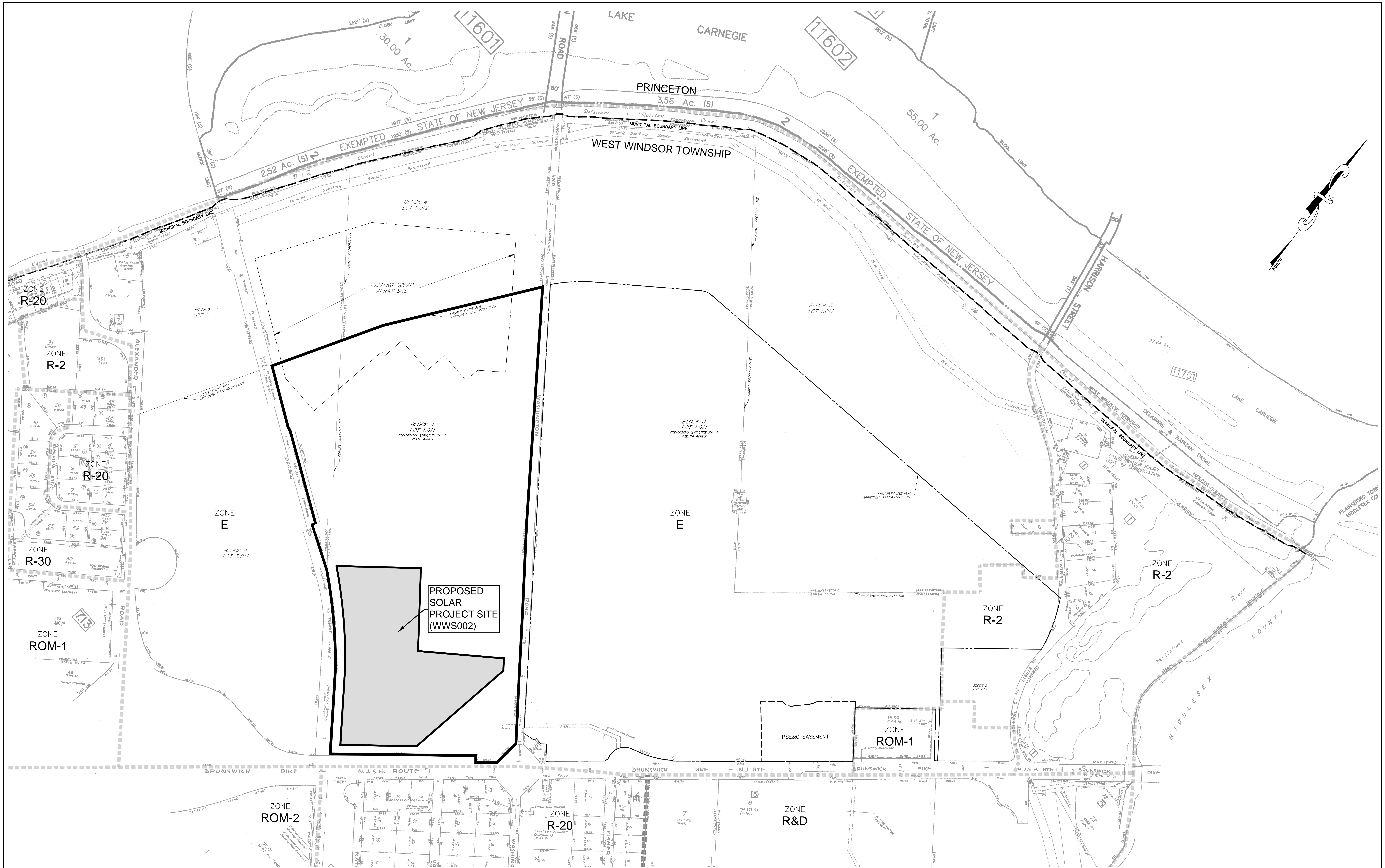
Princeton University
Solar Array

West Windsor



May 2020

1 inch = 600 feet



PROPERTY OWNERS WITHIN 200FT. OF SITE:	BLOCK	LOT	OWNER
1	1	10	TRUSTEES OF PRINCETON UNIVERSITY MACMILLAN BLDG.-BUSINESS OFFICE PRINCETON, NJ 08544
1	2	1	TOBY & MARY SLODEN PRINCETON, NJ 08540
1	3	2	PATRICK & DEBORAH AGNEW 85 LOWER HARRISON ST. PRINCETON, NJ 08540
1	4	1.01	JONATHAN & SATHIR FEELE 47 LOWER HARRISON ST. PRINCETON, NJ 08540
1	5	4	DEPARTMENT OF ENVIRONMENTAL PROTECTION JOHN FITCHWAY PLAZA ON 229 TRENTON, NJ 08625
1	6	5	TOBY & MARY SLODEN 85 LOWER HARRISON ST. PRINCETON, NJ 08540
1	7	41	HERBERT HAZENS 61 LOWER HARRISON ST. PRINCETON, NJ 08540
4	1	3	HELMUT & MONIKA REMITZ 57 LOWER HARRISON ST. PRINCETON, NJ 08540
4	3	3.7,9	ERIKA WORM 43 LOWER HARRISON ST. PRINCETON, NJ 08540
4	3	18	STONY BROOK SEWERAGE AUTHORITY PO BOX 305 PRINCETON, NJ 08540
4	3	1.3	WESTPORT, CT DE880 640 S. BROAD ST., ADMIN. BLDG., ROOM 301 TRENTON, NJ 08620
4	3	38	PRINCE NECK PLAZA LLC 463 EFFERSON RD. PRINCETON, NJ 08540
4	6	1.10	DEPARTMENT OF ENVIRONMENTAL PROTECTION JOHN FITCHWAY PLAZA ON 229 TRENTON, NJ 08625
4	6	92.01	TRUSTEES OF PRINCETON UNIVERSITY MACMILLAN BLDG.-BUSINESS OFFICE PRINCETON, NJ 08544
4	4	3.4	ROBERT ANDERSON 3728 BRUNSWICK PIKE PRINCETON, NJ 08540
4	2	1	OSCAR WOOD 257 FISHER PLACE PRINCETON, NJ 08540
4	2	1	PRINCETON UNIVERSITY 22 CHAMBERS ST. SUITE 200A PRINCETON, NJ 08542
4	2	1	COMCAST, MONMOUTH CLUSTER 751 BROOK BLVD. BRICK, NJ 08723
4	2	1	MERCER COUNTY DEPT. OF TRANSPORTATION 640 S. BROAD ST., ADMIN. BLDG., ROOM 301 TRENTON, NJ 08620
4	2	1	PUBLIC SERVICE ELECTRIC AND GAS COMPANY NEWARK, NJ 07102
4	2	1	NJ AMERICAN WATER COMPANY INC., GAS SUPERVISOR 1025 LAUREL OAK ROAD VORHEES, NJ 08043
4	2	1	VERIZON-NJ C/O WIRELINE ENGINEERING 999 W. MAIN ST. FLR2 FRESHKILL, NJ - 7728
4	2	1	JOBAL 850 PINEWALD KESWICK RD. MANCHESTER TOWNSHIP, NJ 08759

NOTIFICATIONS ALSO REQUIRED FOR:	REQUIREMENT:	REQUIRED:	EXISTING	PROPOSED	EXISTING	PROPOSED
ZONING DISTRICT E - EDUCATIONAL DISTRICT WEST WINDSOR TOWNSHIP ORDINANCE SECT. 200-222	MINIMUM LOT AREA:	10 ACRES	71.12 ACRES	NO CHANGE	132.514 ACRES	NO CHANGE
	MINIMUM LOT FRONTAGE:	450 FEET	989.0 FEET	NO CHANGE	1232.0 FEET	NO CHANGE
	MINIMUM LOT DEPTH:	500 FEET	N/A	NO CHANGE	1370.0 FEET	NO CHANGE
	MINIMUM FRONT YD. SETBACK (ROUTE 1):	125 FEET	1572.8 FEET*	N/A	75.0 FEET**	NO CHANGE
	MINIMUM FRONT YD. SETBACK (WASHINGTON RD.):	50 FEET	128.7 FEET*	N/A	85.8 FEET**	NO CHANGE
	MINIMUM REAR YARD:	40 FEET	N/A	NO CHANGE	N/A	NO CHANGE
	MINIMUM SIDE YARD:	40 FEET	N/A	NO CHANGE	> 40 FEET	NO CHANGE
	MAXIMUM FLOOR AREA RATIO:	0.20	0.020	NO CHANGE	0.0001	NO CHANGE
	MAXIMUM IMPROVEMENT COVERAGE:	50%	10.40%	NO CHANGE	5.19%	NO CHANGE
	MAXIMUM BUILDING HEIGHT:	45 FEET	<45 FEET	NO CHANGE	<45 FEET	NO CHANGE

LEGEND	ZONING KEY:
--- DENOTES ZONING BOUNDARY	E EDUCATION
E DENOTES ZONING DISTRICT	R&D RESEARCH & DEVELOPMENT
701 DENOTES BLOCK NUMBER	ROM-1 RESEARCH/OFFICE/LIMITED MANUFACTURING
44 DENOTES LOT NUMBER	ROM-2 RESEARCH/OFFICE/LIMITED MANUFACTURING
	R-2 LOW DENSITY RESIDENTIAL
	WEST WINDSOR TOWNSHIP TAX MAP DATA:
	SHEETS 1.01, 1.02, 1.03, 1.04 & 4.02
	BLOCKS 3 & 4
	LOTS 1.011 & 1.011

REV.	DESCRIPTION	DATE	DFL BY	CKD BY

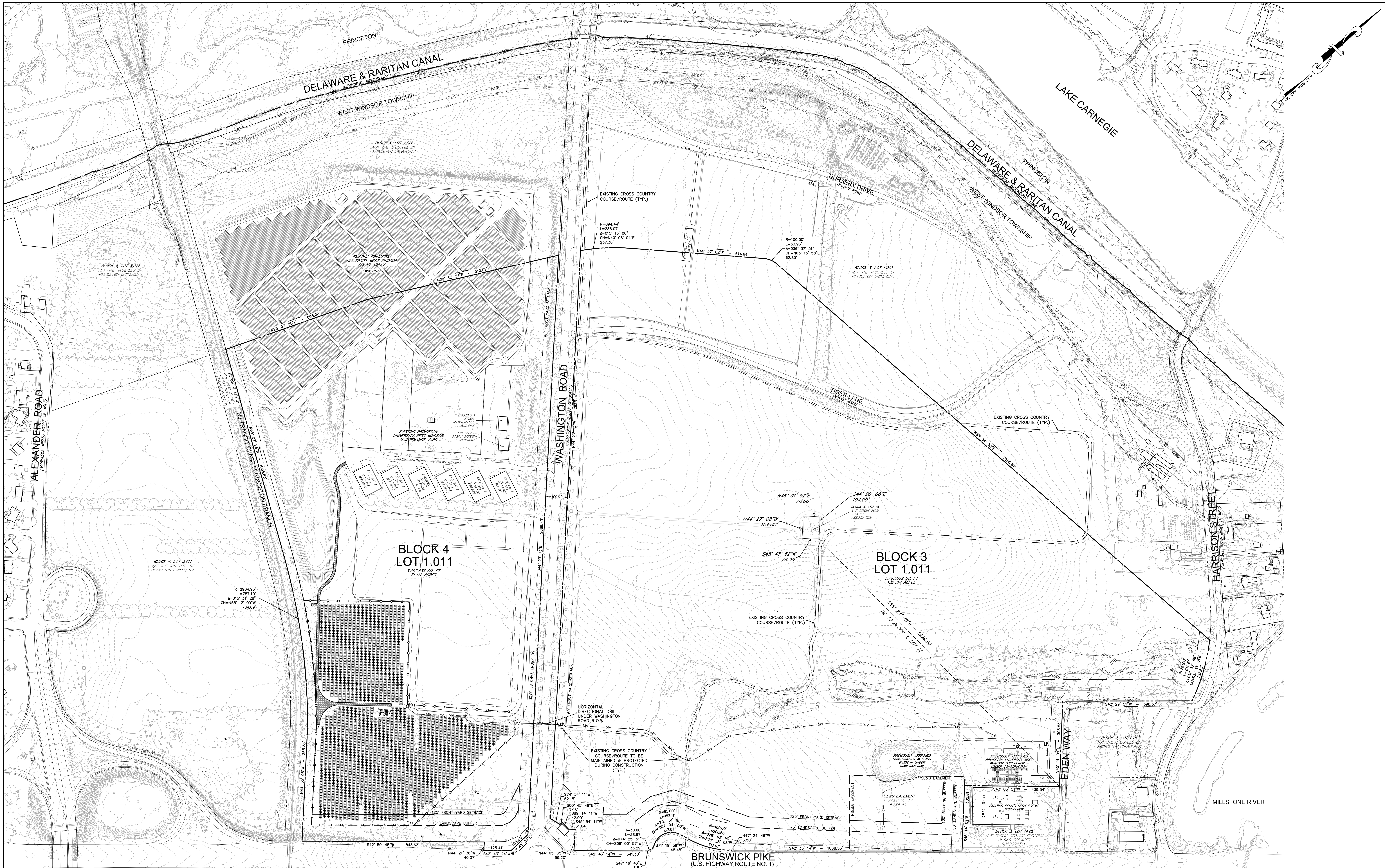
van note-harvey associates, inc.
 consulting engineers, planners & land surveyors
 103 College Road East Princeton, NJ 08540 609-987-2323
 211 Bayberry Drive Cape May Court House, NJ 08210 609-465-2600
 www.vannoteharvey.com Certificate of Authorization No. 3648001700

VICINITY PLAN & KEY MAP OF
 SOLAR ARRAY PROJECT
 WASHINGTON ROAD (WWS002)
 PREPARED FOR
 THE TRUSTEES OF PRINCETON UNIVERSITY
 SITUATED IN
 WEST WINDSOR TOWNSHIP MERCER CO., N.J.
 JANUARY 22, 2020

DATE OF WORK: 01/22/20
 SCALE: 1"=200'
 DRAWN BY: JRM/RD
 DATE: 01/22/20
 CHECKED BY: BRP/CEY
 DATE: 01/22/20

FIELD BK: 44341-409-21
 ORDER No.: 199-C-2
 PAGE: 1
 FILE No.: 199-C-2
 SHEET No.: WW-CE-1

THOMAS E. O'SHEA
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228



EXISTING LEGEND:

- TOPOGRAPHIC SPOT ELEVATION
- TOPOGRAPHIC CONTOUR
- TREE LINE
- POLE
- HYDRANT
- LIGHT POLE
- EDGE OF PAVEMENT
- CURB
- CONCRETE PAVEMENT
- VAULT COVER
- TREE
- STORM SEWER PIPING
- SANITARY SEWER PIPING
- DOMESTIC WATER
- FIRE WATER SUPPLY
- NEW JERSEY AMERICAN WATER CO. MAIN
- STEAM LINE
- POWER SERVICE ELECTRIC & GAS LINE
- COMMUNICATIONS LINE
- OFFICE OF INFORMATION TECHNOLOGY LINE
- SECONDARY ELECTRIC
- PRIMARY ELECTRIC
- SITE LIGHTING ELECTRIC
- UNKNOWN UTILITY
- SPRINKLER LINE
- HEADWATER
- STORM SEWER INLET
- MANHOLE
- WATER VALVE/GAS VALVE

PROPOSED LEGEND:

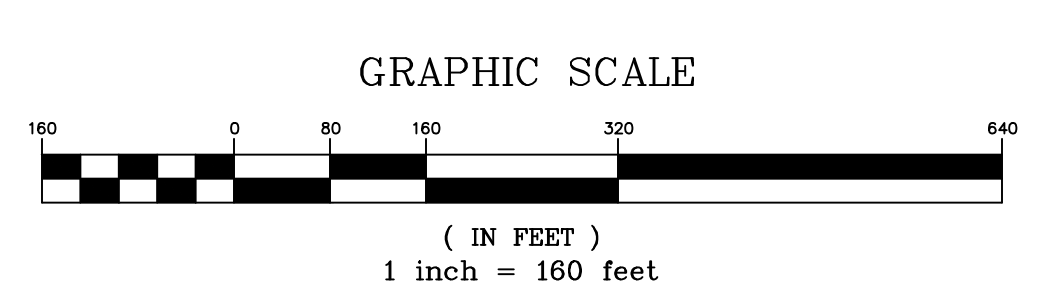
- SECURITY FENCE
- STONE ACCESS DRIVE
- POLE
- SOLAR PV MODULES
- AC - AC LOW VOLTAGE ALTERNATING CURRENT (AC) CIRCUIT ELECTRICAL CONDUIT
- DC - DC LOW VOLTAGE DIRECT CURRENT (DC) ELECTRICAL CONDUIT
- MV - MV MEDIUM VOLTAGE (MV) ELECTRICAL CONDUIT
- INVERTER & ELECTRICAL GEAR LOCATION

NOTES:

- POTENTIAL FUTURE ROUTE 1 RIGHT OF WAY PER PLAN ENTITLED: "NEW JERSEY DEPARTMENT OF TRANSPORTATION, DRAFT ROUTE 1, ALEXANDER ROAD TO MAPLETON ROAD, SCALE 1"=100, UNDATED." PREPARED BY AECOM TECHNICAL SERVICES, INC.

WEST WINDSOR TOWNSHIP TAX MAP DATA:

SHEETS	1.01, 1.02, 1.03, 1.04 & 4.02
BLOCKS	3 & 4
LOTS	1.011 & 1.011



REV.	DESCRIPTION	DATE	DFL BY	CKD BY

van note-harvey associates, inc.
 consulting engineers, planners & land surveyors

103 College Road East Princeton, NJ 08540 609-987-2323
 211 Bayberry Drive Cape May Court House, NJ 08210 609-465-2600
www.vannoteharvey.com Certificate of Authorization No. 364802100

OVERALL SITE PLAN OF SOLAR ARRAY PROJECT WASHINGTON ROAD (WWS002) PREPARED FOR THE TRUSTEES OF PRINCETON UNIVERSITY SITUATED IN WEST WINDSOR TOWNSHIP MERCER CO., N.J.

SCALE 1"=160'
 DATE 01/22/20
 DRAWN BY: RM
 CHECKED BY: BRP/CEY
 DATE: 01/22/20

FIELD BK: 44341-409-21
 ORDER NO.: 199-C-2
 PAGE: 3
 SHEET NO.: **WW.CE-2**

THOMAS E. O'SHEA
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

DATE OF WORK: 01/22/20

N:\P\44341\DWG\44341-SP-SOLAR PV (WWS002) WSHGN RD-PLT.DWG

3. Site Plan MC #20-702	Addition and Renovation to West Windsor Plansboro High School South	West Windsor Township 346 Clarksville Road (CR 638) & Princeton- Hightstown Rd.(CR 571) Block 17.13, Lot 2
----------------------------	--	---

Expansion of the existing High School and renovation of the existing parking lot to address the increase of 20 additional staff members, 100 additional students and 2 more buses.

Additions and Revocations at
West Windsor Plainsboro High School South - File # 20-702
346 Clarksville Road
West Windsor Twp.
Block 17.13 Lot 2



West Windsor - Plainsboro
High School South



April 2020

1 inch = 600 feet

DEMOLITION NOTES

- 1. SITE FEATURES DESIGNATED AS "RMR" ARE TO BE REMOVED FROM THE SITE AND DISPOSED OFF-SITE OF IN ACCORDANCE WITH THE APPROPRIATE STANDARDS...
2. SITE FEATURES DESIGNATED AS "REMOVE AND SALVAGE" SHALL BE CAREFULLY DETACHED FROM EXISTING CONSTRUCTION...
3. CONTRACTOR SHALL VERIFY THAT UTILITIES HAVE BEEN SHUT OFF BEFORE STARTING REMOVAL, RELOCATION/ABANDONMENT OPERATIONS...

PRINCETON - HIGHTSTOWN ROAD (VARIABLE RIGHT OF WAY)

LEGEND

Table with columns for EXISTING and PROPOSED symbols for SANITARY SEWER, STORM SEWER, FLARED END SECTION, DRAINAGE INLET, DRAINAGE MANHOLE, HEADWALL, SANITARY SEWER MANHOLE, FIRE HYDRANT, SIGN, UTILITY POLE, VALVE, WATER MAIN, GAS MAIN, ELECTRIC LINE, TELEPHONE LINE, CONTOUR ELEVATION, SPOT ELEVATION AT CURB, SPOT ELEVATION ON GROUND OR PAVEMENT, CONCRETE CURBS TO BE REMOVED, CONCRETE REMOVAL, PAVEMENT REMOVAL.

GENERAL NOTES

- 1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH...
2. DATUM IS NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), BASED ON REF. MAP No. 1.
3. THIS MAP REFLECTS EXISTING SITE CONDITIONS AS A RESULT OF A PARTIAL TOPOGRAPHIC FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERS ON 04/09/19.

REFERENCE MAPS

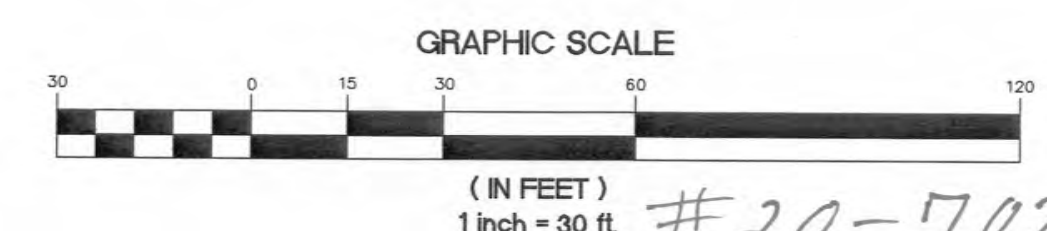
- 1. TOPOGRAPHIC SURVEY PLAN OF THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR-PLAINSBORO BOARD OF EDUCATION AS PREPARED BY SITEWORKS CONSULTANTS INC. REV. TO 8/15/09 AND MARKED AS FILE 50-1.
2. BOUNDARY AND WETLANDS SURVEY OF THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR-PLAINSBORO BOARD OF EDUCATION AS PREPARED BY SITEWORKS CONSULTANTS INC. REV. TO 11/13/09 AND MARKED AS FILE 50-2.
3. ADDITIONS AND ALTERATIONS TO THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR-PLAINSBORO BOARD OF EDUCATION PREPARED BY VAN CLEEF ENGINEERING ASSOC. DATED 2/17/07 CORR.

CONSTRUCTION NOTES

- 1. CONTRACTOR TO PROVIDE SECURE STAGING AREA ON-SITE. LOCATION TO BE AGREED UPON BY SCHOOL.
2. CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO SCHOOL AT ALL TIMES.
3. ANY SEDIMENT DROPPED, SPILLED OR TRACKED ON PAVED SURFACES TO BE REMOVED IMMEDIATELY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL ANY SOIL IMPORT OR EXPORT PERMITS REQUIRED, INCLUDING FEES.
5. ALL SOIL SHALL STAY ON-SITE. NO EXCAVATED SOIL SHALL BE REMOVED FROM THE SITE WITH OUT EXPLOIT WRITTEN PERMISSION FROM THE SCHOOL DISTRICT.

Logos for Dig Safety and Van Cleef Engineering Associates.

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



1 STY. MASONRY SCHOOL BUILDING TAX LOT 2, BLOCK 17.13 CONTAINING 50,510 ACRES (DEED BK. 1873, PG. 325) (DEED BK. 2550, PG. 42)

Van Cleef Engineering Associates logo and contact information.

BY: Herbert J. Seeburger, Jr. DATE: 2/20/20 N.J. PROFESSIONAL ENGINEER NO. 246204748700

Phase 1 Site Work at West Windsor-Plainsboro High School South

West Windsor - Plainsboro Regional School District

346 Clarksville Rd., West Windsor, New Jersey 08550

5063LS / 1808WW

02.20.2020

GRD

R.R.F.

1"=30'

DEMOLITION PLAN

RECEIVED MAR 05 2020 MERCER COUNTY PLANNING DEPARTMENT

Table with columns: Revisions, No., Date, Description. Row 1: 02.24.20 ISSUED FOR BID

C100

LEGEND	
EXISTING	PROPOSED
	SANITARY SEWER
	STORM SEWER
	FLARED END SECTION
	DRAINAGE INLET
	DRAINAGE MANHOLE
	HEADWALL
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	SIGN
	UTILITY POLE
	VALVE
	WATER MAIN
	GAS MAIN
	ELECTRIC LINE
	TELEPHONE LINE
	CONTOUR ELEVATION
	SPOT ELEVATION AT CURB
	SPOT ELEVATION ON GROUND OR PAVEMENT
	CONCRETE CURB

GENERAL NOTES

- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT OF WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
- DATUM IS NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NADV029), BASED ON REF. MAP No.1.
- THIS MAP REFLECTS EXISTING SITE CONDITIONS AS A RESULT OF A PARTIAL TOPOGRAPHIC FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ON 04/09/19.
- NO CERTIFICATION IS MADE BY VCEA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
- IT IS IMPERATIVE THAT THE UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER UTILITY MARK-OUTS.
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
- WETLANDS INFORMATION TAKEN FROM PLAN ENTITLED "BOUNDARY AND WETLANDS SURVEY FOR HIGH SCHOOL SOUTH" PREPARED BY SITE WORKS CONSULTANTS, INC. DATED 11/14/06.

REFERENCE MAPS

- "TOPOGRAPHIC SURVEY PLAN OF THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR - PLAINSBORO BOARD OF EDUCATION" AS PREPARED BY SITEWORKS CONSULTANTS, INC. REV. TO 01/25/06 AND MARKED AS FILE 50-1-1.
- "BOUNDARY AND WETLANDS SURVEY OF THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR - PLAINSBORO BOARD OF EDUCATION" AS PREPARED BY SITEWORKS CONSULTANTS, INC. REV. TO 11/13/06 AND MARKED AS FILE 50-2-1.
- "TOPOGRAPHIC AND WETLANDS SURVEY FOR THE WEST WINDSOR - PLAINSBORO HIGH SCHOOL SOUTH, BLOCK 17.13, LOT 2 - 154 & 156" AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED NOV. 8, 1978.
- ADDITIONS AND ALTERATIONS TO THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR - PLAINSBORO BOARD OF EDUCATION PREPARED BY VAN CLEEF ENGINEERING ASSOC. DATED 3/17/07.
- ADDITIONS AND ALTERATIONS TO THE HIGH SCHOOL SOUTH FOR THE WEST WINDSOR - PLAINSBORO BOARD OF EDUCATION PREPARED BY FARLEY THORNE MADDOGH P.A. DATED 3/30/08.

CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE SECURE STAGING AREA ON-SITE. LOCATION TO BE AGREED UPON BY SCHOOL.
- CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO SCHOOL AT ALL TIMES.
- ANY SEDIMENT DROPPED, SPILLED OR TRACKED ON PAVED SURFACES TO BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL ANY SOIL IMPORT OR EXPORT PERMITS REQUIRED, INCLUDING FEES.
- ALL SOIL SHALL STAY ON-SITE. NO EXCAVATED SOIL SHALL BE REMOVED FROM THE SITE WITH OUT EXPLICIT WRITTEN PERMISSION FROM THE SCHOOL BOARD.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ON-SITE SAFETY AND SECURITY. ALL SAFETY PRECAUTIONS MUST BE UNDERSTOOD AND MAINTAINED AS RESOURCES AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE COSTS OF OBTAINING SAFETY AND SECURITY SHALL BE RECOVERED IN COST OF THE PROJECT.
- ALL DISTURBED AREAS TO BE STABILIZED WITH 5 INCHES OF TOP SOIL, SEED, FERTILIZER, MULCH AND TACK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR DAMAGED DURING THE PROJECT.
- ALL STORM SEWER PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- THE CONCRETE SIDEWALK TO BE ADA COMPLIANT WITH A MAX. CROSS SLOPE OF 2.0% AND A MAX. RAMPING SLOPE OF 8.3%. SIDEWALKS WITH A RUNNING SLOPE GREATER THAN 8.3% REQUIRES AN ADA COMPLIANT HANDRAIL. NO SIDEWALK SHALL HAVE A RUNNING SLOPE GREATER THAN 8.3%.
- CONTRACTOR TO USE CARE WHILE DRIVING CONSTRUCTION VEHICLES OVER EXISTING CURBS AND SIDEWALKS NOT TO BE DAMAGED. IF DAMAGE OCCURS TO EXISTING CURBS OR SIDEWALKS OR LANE MARKS, THEY SHALL BE RESTORED IN-KIND BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON PHYSICAL EVIDENCE. BEFORE ANY EXCAVATION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. IN CASES WHERE THE CONSTRUCTION OF TEMP. KEYS OR OTHER EXISTING STRUCTURES SUCH AS CURBS, PARKING, SIDEWALKS, UTILITY ETC. THE CONTRACTOR OR SURVEYOR STAKING SUCH ITEMS SHALL VERIFY THE ELEVATION AND LOCATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. TEST PITS TO BE PERFORMED AS REQUIRED AT NO ADDITIONAL COST.
- ALL LOAD-BEARING FILL SHOULD BE CONTROLLED FILL. CONTROLLED FILL SHOULD BE PLACED IN LOOSE HORIZONTAL LAYS WITH A MAXIMUM PROPOSED FILL CONTROLLED FILL WITHIN THE CONSTRUCTION AREA BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. THE MAXIMUM FILL HEIGHT AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557). IN ADDITION, ALL FILL SHALL BE STABLE WITHOUT SIGNIFICANT MOVEMENT UNDER CONSTRUCTION TRAFFIC. ALL EXISTING OR PROPOSED CONTROLLED FILL SHOULD BE VERIFIED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO PHASING PLANS FOR CONSTRUCTION SEQUENCE OF CIVIL WORK.
- CONTRACTOR WITH A KEY IN EXISTING PHASING PLANS FOR CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY WORK REQUIRED TO STAKE OUT SITE FEATURES DURING CONSTRUCTION.
- ACQUITE TEMPORARY AND PERMANENT CONTROL OF SURFACE WATER RUNOFF WILL BE REQUIRED IN ORDER TO ALLOW SITE PREPARATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURITY.

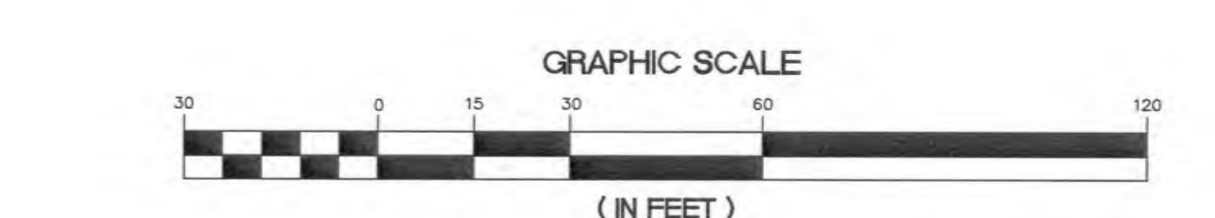
Dig Safely

1-800-272-1000

LLAME

1-800-272-1000

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



Van Cleef
ENGINEERING ASSOCIATES

1-800-272-1000

BY:

HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 24504748700

DATE: 2/20/20

Project Name
Phase 1 Site Work at West Windsor-Plainsboro High School South

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
346 Clarksville Rd., West Windsor, New Jersey 08550

Project Number
5063LS / 1808WWW

Project Date
02.20.2020

Checked By
GRD

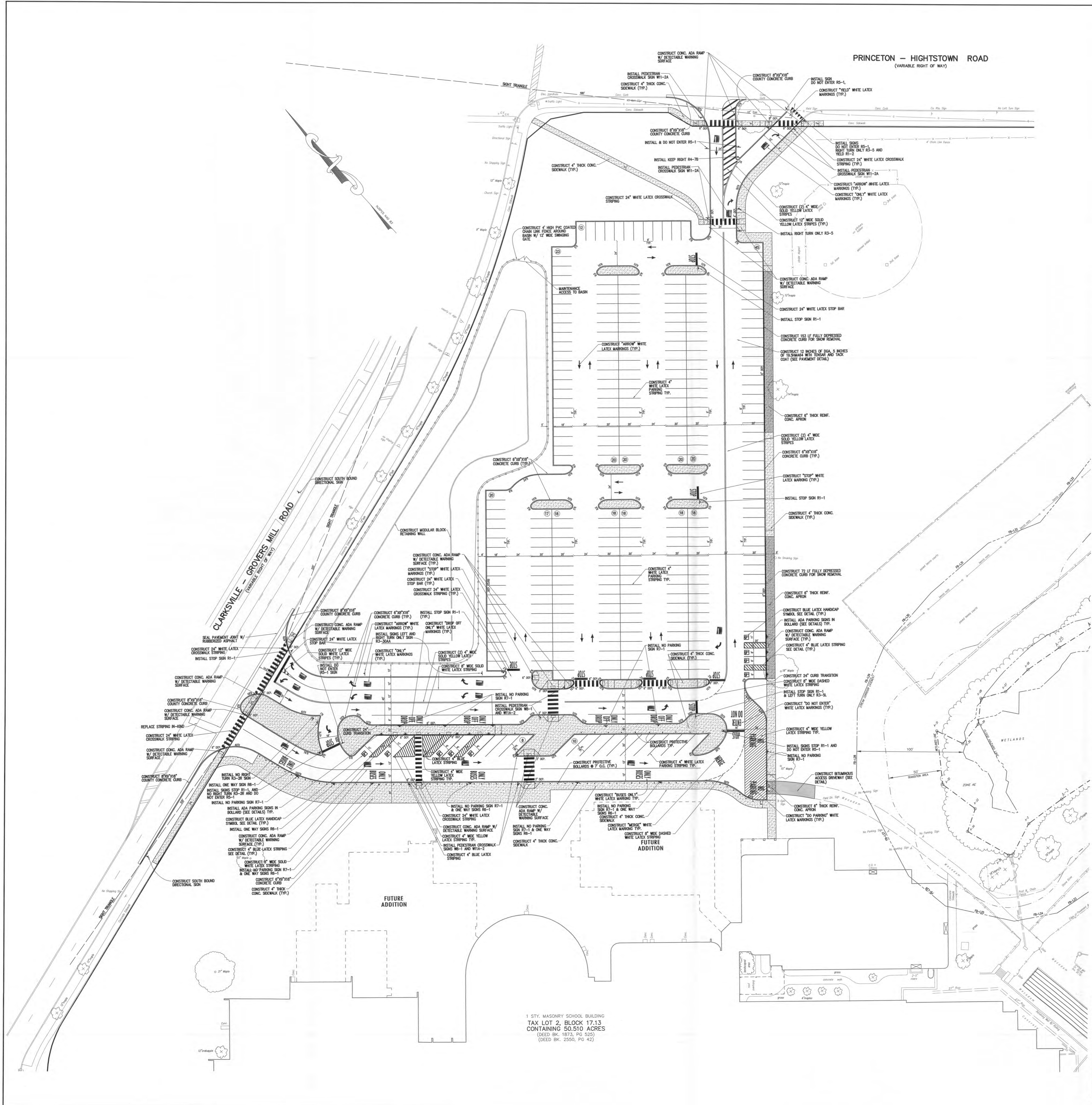
Drawn By
R.R.F.

Scale
1"=30'

Drawing Name
SITE PLAN

Revisions		
No.	Date	Description
1	02.24.20	ISSUED FOR BID

Drawing Number
C101



1 STY. MASONRY SCHOOL BUILDING
TAX LOT 2, BLOCK 17.13
CONTAINING 50,510 ACRES
(DEED BK. 1073, PG. 523)
(DEED BK. 2550, PG. 42)

FUTURE ADDITION

4. Site Plan
MC #20-604

Hamilton Plaza Rothman

Hamilton Township
1061 Whitehorse-Mercerville Rd. & Kuser Rd.
(CR 619)
Block 2443, Lot 2

Demolition of the former Kmart garden center, internal reconfiguration of a portion of the former Kmart building to accommodate a new Rothman office at the existing Hamilton Plaza Shopping Center. Also includes the reconfiguration of the existing parking area adjacent to the proposed office with additional 32 parking spaces.

Hamilton Plaza Rothman - File # 20-604
1061 Whitehorse-Mercerville Rd. & Kuser Rd (CR 619)
Hamilton Twp.
Block 2443 Lot 2

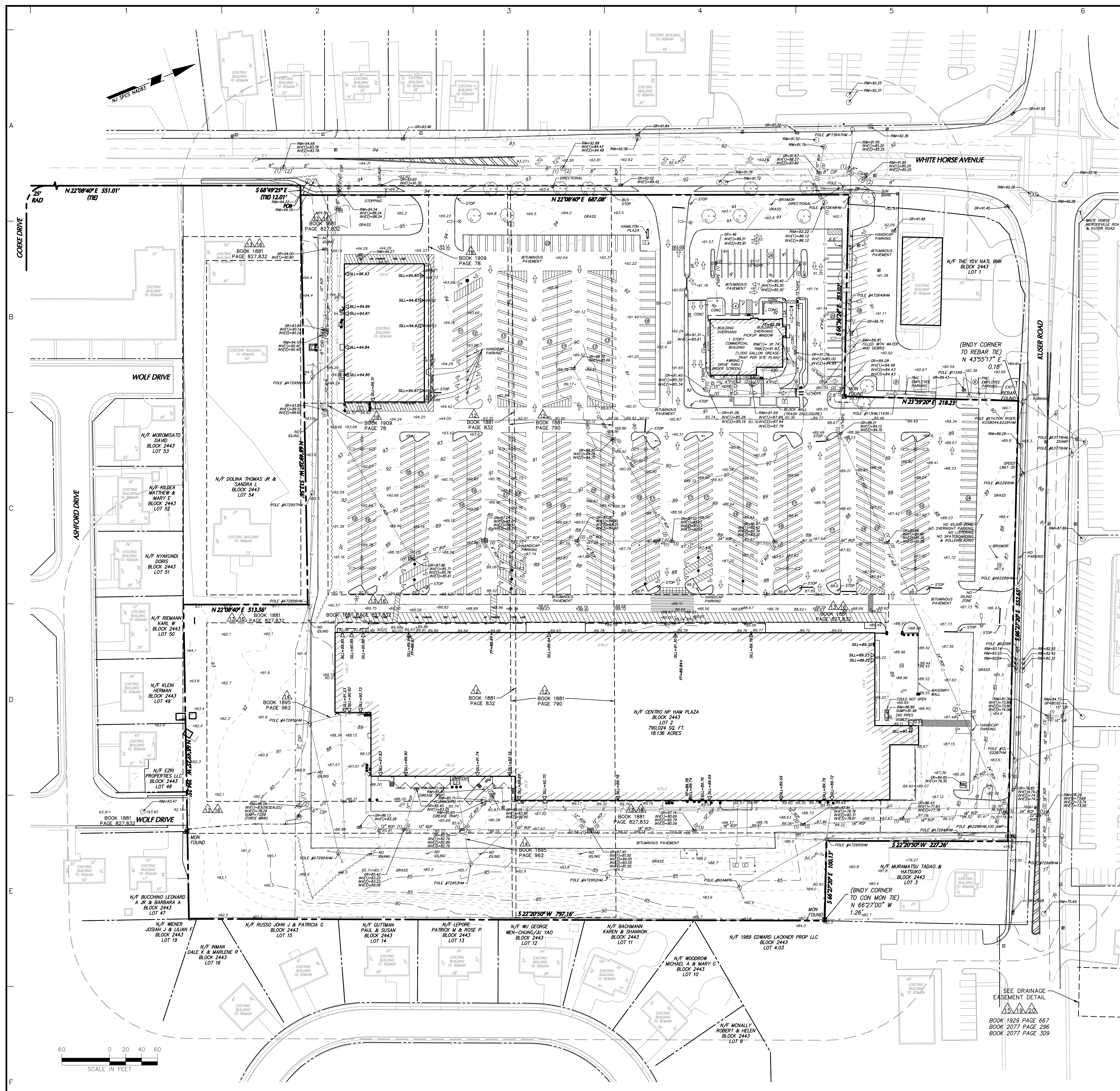


Hamilton Plaza
Rothman



May 2020

1 inch = 600 feet



SURVEYOR'S CERTIFICATION

1. CHICAGO TITLE INSURANCE COMPANY PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 12, 13, AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN OCTOBER 2019.

2. I HEREBY STATE THAT THIS PLAN IS BASED ON A FIELD SURVEY MADE BY ME OR UNDER MY IMMEDIATE SUPERVISION IN ACCORDANCE WITH N.J.A.C. 13:40-5.1 "Preparation of Land Surveys", and to the best of my professional knowledge, information and belief, and in my professional opinion, correctly represents the conditions found on the date of the field survey at the subject property."

DATE 4/21/2020

JOSEPH E. ROMANO
PROFESSIONAL LAND SURVEYOR
NJ LIC. NO. 246503627300
jromano@langan.com

NOTES

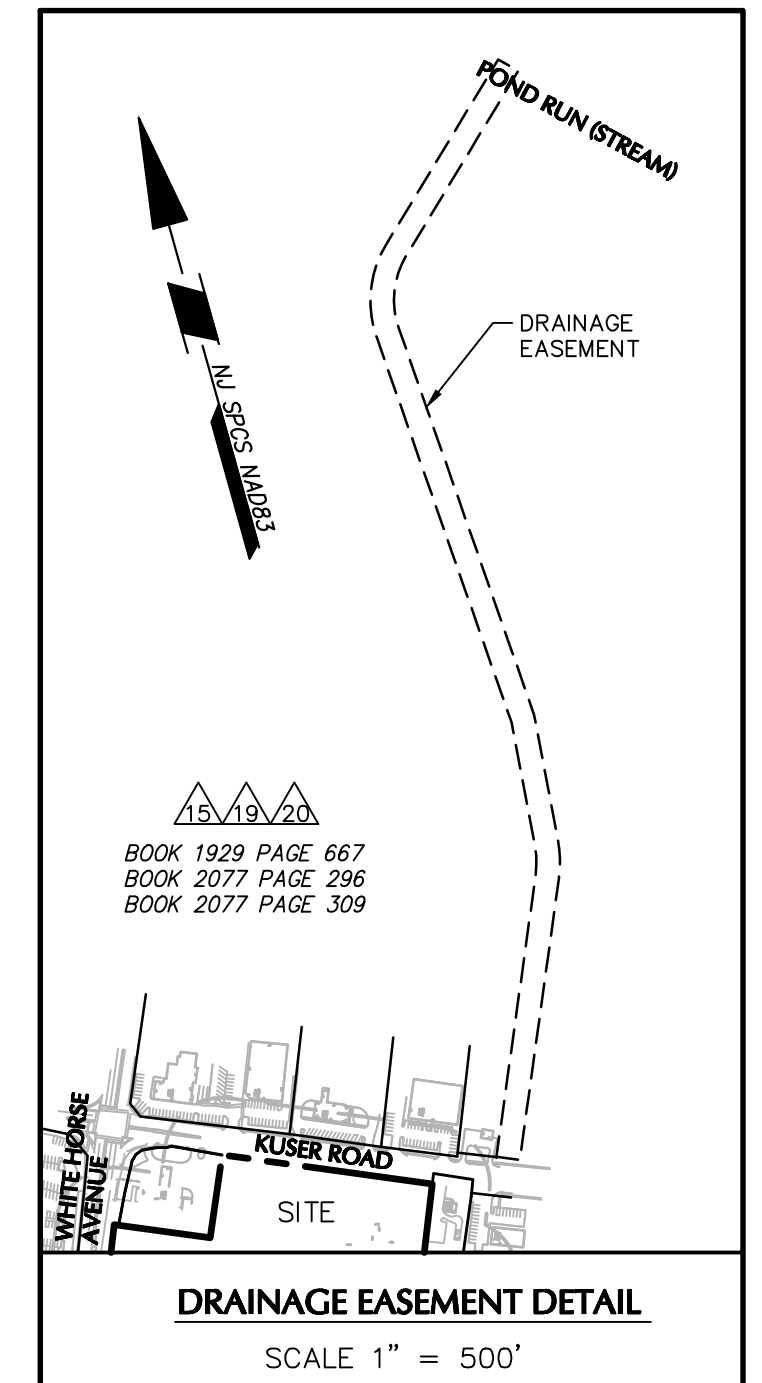
1. THIS PLAN WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, TITLE NUMBER: 2011-80216 EFFECTIVE DATE: APRIL 11, 2011.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN BASED ON A FIELD SURVEY PERFORMED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES IN APRIL 2017 AND OCTOBER 2019.
3. MERIDIAN IS REFERENCED TO NJ SPCS NAD83.
4. VERTICAL DATA SHOWN IS BASED ON NAVD88.
5. OFFSETS (IF SHOWN) ARE FOR SURVEY PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY TYPE.
6. WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
7. BASED ON FEMA FLOOD INSURANCE RATE MAP(FIRM), MAP NO. 34021C029F, EFFECTIVE DATE JULY 20, 2016, FOR THE TOWNSHIP OF HAMILTON, NEW JERSEY, MERCER COUNTY, THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
8. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS, UNLESS SPECIFICALLY NOTED HERE-ON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON. PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPLETE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON LIST REFERENCED DOCUMENTS AS NEEDED.
9. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
10. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(D).
11. INFORMATION IN OVERLAP AREAS HAS BEEN TRACED FROM AERIAL IMAGERY. DIMENSIONS IN THE OVERLAP AREAS ARE ALL APPROXIMATE.

SCHEDULE B2 EXCEPTIONS
ITEMS 1 THROUGH 10 ARE NOT SURVEY RELATED

11. UTILITY EASEMENT GRANTED TO PUBLIC SERVICE ELECTRIC & GAS COMPANY DATED OCTOBER 18, 1971 AND RECORDED DECEMBER 8, 1971 IN BOOK 1897 PAGE 649. (GAS EASEMENT. NOT PLOTTABLE)
12. COVENANTS AND RESTRICTIONS CONTAINED IN DEED MADE BY UNITY INVESTMENT TO LANNING CORP. DATED MAY 26, 1971 AND RECORDED MAY 26, 1971 IN BOOK 1881 PAGE 790. (PLOTTED. LOCATED ON SUBJECT PROPERTY)
13. DECLARATION OF EASEMENT MADE BY LANNING CORP. DATED AS OF MAY 26, 1971 AND RECORDED MAY 26, 1971 IN BOOK 1881 PAGE 827. (PLOTTED. LOCATED ON SUBJECT PROPERTY)
14. UTILITY EASEMENT GRANTED TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY AND NEW JERSEY BELL TELEPHONE COMPANY RECORDED NOVEMBER 15, 1971 IN BOOK 1895 PAGE 962. (PLOTTED. LOCATED ON SUBJECT PROPERTY)
15. TERMS AND CONDITIONS CONTAINED IN DEED BETWEEN LANNING CORP. AND IDS REALTY TRUST DATED DECEMBER 20, 1972 AND RECORDED JANUARY 4, 1973 IN BOOK 1929 PAGE 867. (PLOTTED. NOT LOCATED ON SUBJECT PROPERTY)
16. TERMS, COVENANTS, CONDITIONS, PROVISIONS AND AGREEMENTS OF A LEASE DATED MAY 10, 1971 MADE BY AND BETWEEN LANNING CORP., AS LANDLORD AND S.S. KRESGE COMPANY, AS TENANT A MEMORANDUM OF WHICH WAS RECORDED MAY 25, 1971 IN BOOK 1881 PAGE 832. (PLOTTED. LOCATED ON SUBJECT PROPERTY) FIRST AMENDMENT TO LEASE AND MEMORANDUM OF LEASE MADE BETWEEN LANNING CORP. AND S.S. KRESGE COMPANY DATED AS OF MAY 20, 1971 AND RECORDED JULY 16, 1971 IN BOOK 1885 PAGE 998 (NOT PLOTTABLE. LOCATED ON SUBJECT PROPERTY). SECOND AMENDMENT TO LEASE AND MEMORANDUM OF LEASE MADE BETWEEN LANNING CORP. AND S.S. KRESGE COMPANY DATED AS OF NOVEMBER 30, 1972 AND RECORDED JANUARY 4, 1973 IN BOOK 1929 PAGE 663. (NOT PLOTTABLE. LOCATED ON SUBJECT PROPERTY)
17. TERMS, COVENANTS, CONDITION, PROVISIONS AND AGREEMENTS OF A LEASE DATED MAY 20, 1971 MADE BETWEEN LANNING CORP., AS LANDLORD AND ACE MARKETS, INC., TENANT RECORDED MAY 26, 1971 IN BOOK 1881 PAGE 841. (BLANKET IN NATURE. LOCATED ON SUBJECT PROPERTY)
18. TERMS, COVENANTS, CONDITIONS, PROVISIONS AND AGREEMENTS OF A LEASE DATED APRIL 19, 1972 MADE BETWEEN LANNING CORP., AS LANDLORD AND FRIENDLY ICE CREAM CORPORATION, AS TENANT, A MEMORANDUM OF WHICH WAS RECORDED MAY 5, 1972 IN BOOK 1909 PAGE 78. (PLOTTED. LOCATED ON SUBJECT PROPERTY)
19. ASSIGNMENT OF TENANT LEASES AND ASSUMPTION AGREEMENT MADE BY AND BETWEEN IDS REALTY TRUST, ASSIGNOR AND STANLEY R. AMBERG, ASSIGNEE DATED AS OF JUNE 1, 1978 AND RECORDED JULY 14, 1978 IN BOOK 2077 PAGE 296. (PLOTTED. NOT LOCATED ON SUBJECT PROPERTY) ASSIGNMENT OF TENANTS LEASES AND ASSUMPTION AGREEMENT MADE BY STANLEY R. AMBERG, ASSIGNOR TO CALIFORNIA-HAMILTON CORP., ASSIGNEE, DATED AS OF JUNE 1, 1978 IN BOOK 2077 PAGE 309. (PLOTTED. NOT LOCATED ON SUBJECT PROPERTY) ASSIGNMENT OF TENANTS LEASES AND ASSUMPTION AGREEMENT BY CALIFORNIA-HAMILTON CORP., ASSIGNOR TO HAMILTON ASSOCIATES, LTD., ASSIGNEE DATED AS OF JUNE 1, 1978 AND RECORDED JUNE 4, 1978 IN BOOK 2077 PAGE 323. (PLOTTED. NOT LOCATED ON SUBJECT PROPERTY) ASSIGNMENT OF TENANT LEASES AND AGREEMENT BY HAMILTON ASSOCIATES, LTD., ASSIGNOR TO HAMILTON 76 CORP., ASSIGNEE DATED AS OF JUNE 1, 1978 AND RECORDED AUGUST 16, 1979 IN BOOK 2099 PAGE 957. (PLOTTED. DESCRIBES SUBJECT PROPERTY AND DRAINAGE EASEMENT)
20. OPERATING LEASE DATED AS OF JUNE 1, 1978 BETWEEN HAMILTON ASSOCIATES LTD AND HAMILTON-76 CORP. AS RECITED IN ASSIGNMENT OF TENANTS LEASES AND ASSUMPTION AGREEMENT IN BOOK 2099 PAGE 957. (PLOTTED. DESCRIBES SUBJECT PROPERTY AND DRAINAGE EASEMENT)

REFERENCES

1. PLAN ENTITLED "PLAN OF SURVEY FOR NEW PLAN REALTY" PREPARED BY TRENTON ENGINEERING CO., INC. DATED 5-2-1994 AND LAST REVISED 5-10-1994.



Date	Description	No.
04/01/20	FIELD UPDATE	5
01/21/19	ADDED UTILITIES	4
09/13/18	ADDED UTILITIES	3
05/21/18	REVISED PER TOWNSHIP AND COUNTY COMMENTS	2
01/22/18	REVISED PER TOWNSHIP AND COUNTY COMMENTS	1

LANGAN
1818 Market Street, Suite 3300, Philadelphia, PA 19103
T: 215.845.8900 F: 215.845.8901 www.langan.com

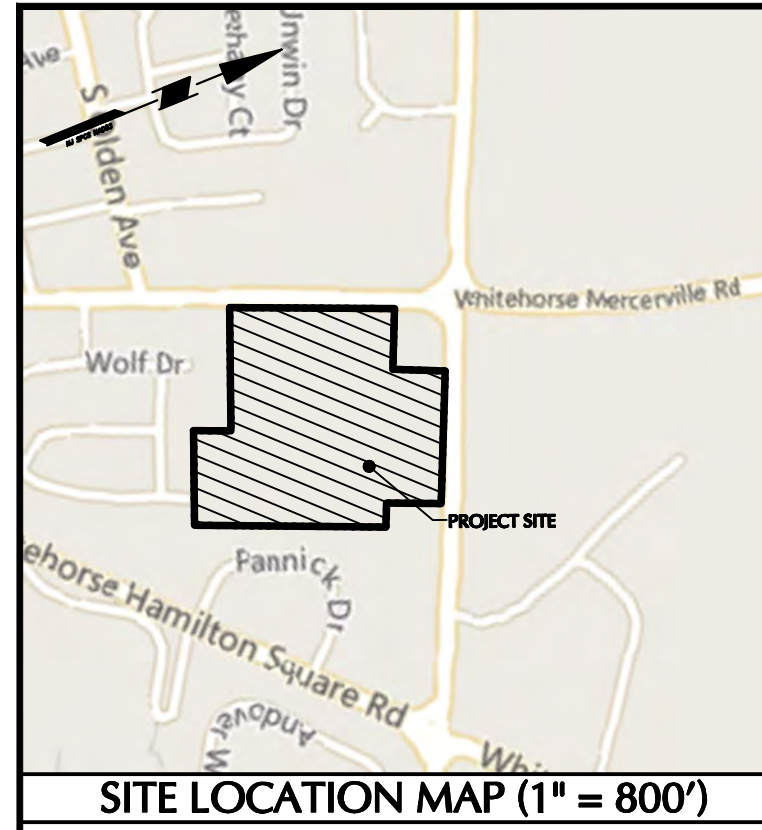
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Langan Engineering and Environmental Services, Inc.
Langan CT, Inc.
Langan International LLC
Collectively known as Langan

HAMILTON PLAZA
BLOCK No. 2443, LOT No. 2
TRENTON
MERCER COUNTY NEW JERSEY

ALTA/NSPS LAND TITLE SURVEY

Project No. 220076102	Drawing No. VT-101
Date 10/24/2017	Scale 1" = 60'
Drawn By KCS	Checked By SFH
Submission Date N/A	Sheet 1 of 1

PROJECT NO. 220076102



GENERAL SITE NOTES:

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHOD AND SEQUENCE OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SH/ SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SH/ SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SH/ SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS SPECIFIED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUPPLEMENTARILY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

SITE CONSTRUCTION NOTES:

- APPLICANT/OWNER:
HAMILTON PLAZA OWNER, LLC
C/O BROWKOP PROPERTY GROUP, INC.
160 ATLANTIC REGIONAL OFFICE
TWO TOWER BRIDGE, ONE FAYETTE ST.
CONSHOHOCKEN, PA 19049
PHONE: (610) 834-7799 FAX: (610) 834-8110
- SITE IDENTIFICATION:
BLOCK 2443, LOT 2
WHITE HORSE AVENUE & KUSER ROAD
HAMILTON TOWNSHIP
MERCER COUNTY, NJ 08610
- ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THIS PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
- THIS APPLICATION PROPOSES INTERNAL RECONFIGURATION OF THE EXISTING VACANT MARKET, DEMOLITION OF THE EXISTING VACANT GARDEN CENTER, AND THE ADJACENT PARKING AREAS ALONG WITH LANDSCAPING, LIGHTING, UTILITIES, AND DRAINAGE INFRASTRUCTURE.
- THIS SITE PLAN IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCE PLANS:
A. A PLAN, ENTITLED "PLAT/PLANS LAND TITLE SURVEY" AS PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., SHEET VT-101, LAST REVISED 4/1/20.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO, SEWER/WATER STREET CLOSING AND DEMOLITION.
- ALL TOWNSHIP, COUNTY AND STATE OCCUPANCY PERMITS SHALL BE OBTAINED FOR CONSTRUCTION AND IMPROVEMENTS WITHIN TOWNSHIP, COUNTY AND STATE ROADS.
- ALL TOWNSHIP, COUNTY AND STATE OCCUPANCY PERMITS SHALL BE OBTAINED FOR CONSTRUCTION AND IMPROVEMENTS WITHIN TOWNSHIP, COUNTY AND STATE ROADS.
- THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL APPLICABLE PROVISIONS, STANDARDS AND SPECIFICATIONS, CONSTRUCTION REQUIREMENTS AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND DETAILS OF HAMILTON TOWNSHIP, MERCER COUNTY, NJ DEP, NAACP, AND OSHA WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS, POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO STRUCTURES, UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS, POLES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- THE CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DULIOUSHED MATERIALS REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF CANOPES, EXIT DOORS, RAMPS, TRUCK DOORS, PRECISE BUILDING DIMENSIONS, CONCRETE PADS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION) FROM THE U.S. DEPARTMENT OF TRANSPORTATION.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- AS PER THE "NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED MERCER COUNTY NEW JERSEY (ALL JURISDICTIONS), PANEL 229 OF 276, MAP NUMBER 340210222F, EFFECTIVE DATE JULY 20, 2016" THE SUBJECT PROPERTY LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.1(1) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE LONG LIFE THERMOPLASTIC OR AS APPROVED BY TOWNSHIP ENGINEER.
- ALL SITE WORK, INCLUDING LANDSCAPING, MUST BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN PRIOR TO OCCUPANCY.
- NO MERCHANDISE, PRODUCTS, WASTE, EQUIPMENT, OR SIMILAR MATERIAL OR OBJECT SHALL BE DISPOSED OR STORED OUTSIDE.
- REFER TO ARCHITECTURAL PLAN SETS FOR ALL BUILDING INFORMATION, INCLUDING ELEVATIONS, FLOOR PLANS, SIGNAGE INFORMATION, AND TENANT SPECIFIC DETAILS FOR MENU BOARDS, ORDERING CANOPY, DIRECTIONAL SIGNAGE, ETC.
- REFER TO DRAWING CS-501 FOR SITE IMPROVEMENT DETAILS.
- REFER TO DRAWING CS-101 FOR DETAILED SITE PLAN INFORMATION INCLUDING DIMENSIONS, SIGNS, ETC.

BUILDING AND PARKING SUMMARY

TOTAL EXISTING BUILDING AREA	158,037 SF
TOTAL EXISTING PARKING	675 SPACES
EXISTING PARKING RATIO	4.27 SP./1,000 SF
TOTAL PROPOSED BUILDING AREA	158,037 SF
EXISTING PARKING TO BE REMOVED	2 SPACES
PROPOSED PARKING TO BE ADDED	32 SPACES
TOTAL PROPOSED PARKING	705 SPACES
PROPOSED PARKING RATIO	4.46 SP./1,000 SF

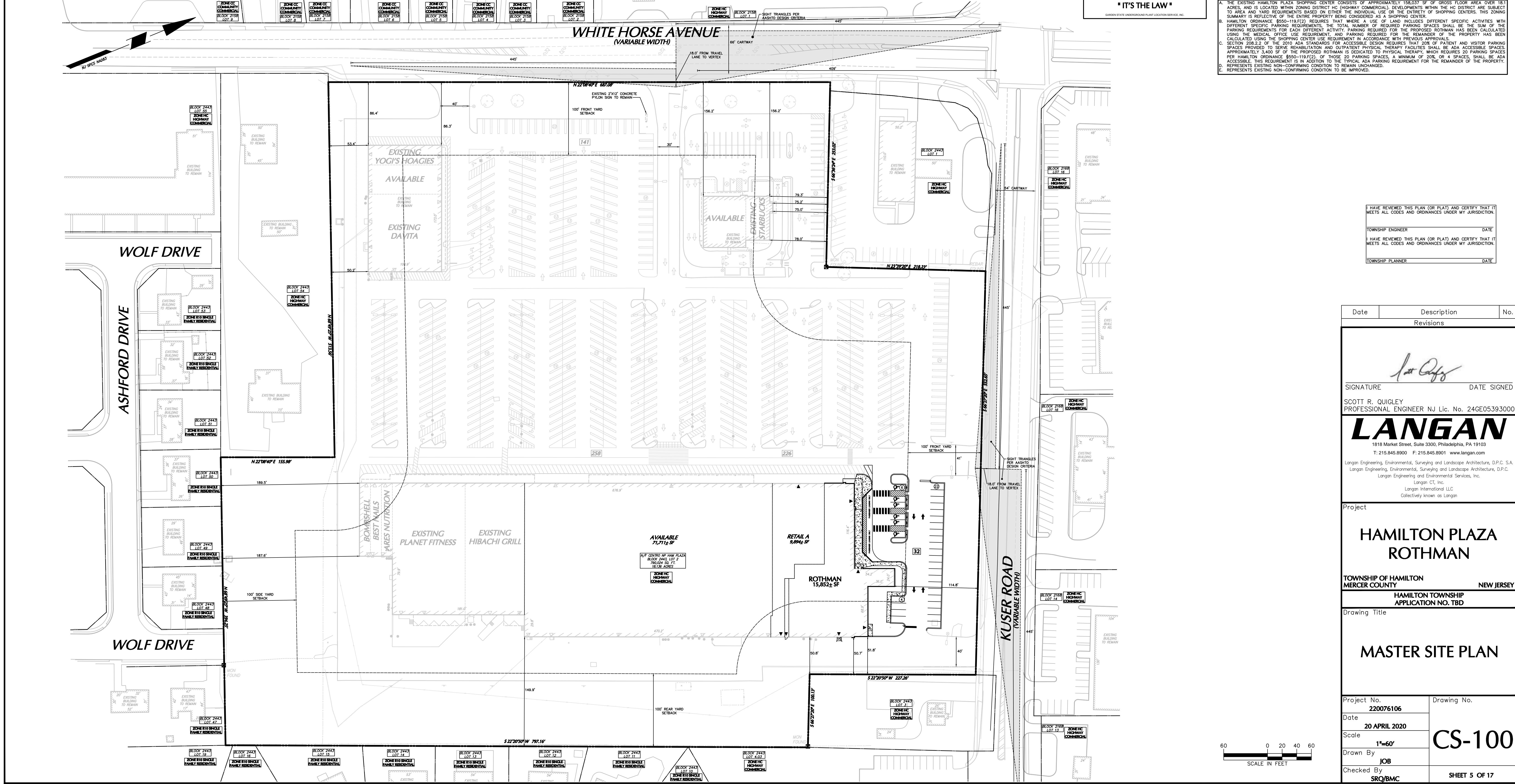
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK LINE
- PARKING SETBACK LINE
- ZONING BOUNDARY LINE
- BUILDING LINE
- CURB
- PARKING SUBTOTAL
- PARKING COUNT
- TRAFFIC SIGN
- TRAFFIC SIGN DESIGNATION
- DOORWAY
- CONCRETE
- BOLLARD

CALL BEFORE YOU DIG
IN NJ, TOLL FREE
1-800-272-1000
FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES
"IT'S THE LAW"
GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.

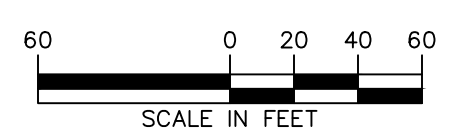
HAMILTON PLAZA REDEVELOPMENT
HAMILTON TOWNSHIP, MERCER COUNTY, NEW JERSEY
LAND USE AND DEVELOPMENT REGULATIONS
ZONING SUMMARY - BLOCK 2443, LOT 2

APPLICABLE REGULATIONS	PERMITTED/REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT DESIGNATION: HIGHWAY COMMERCIAL (HC)			
SCHEDULE OF USE REGULATIONS			
USES:	SHOPPING CENTER	SHOPPING CENTER	SHOPPING CENTER
AREA AND BULK REGULATIONS			(A)
MINIMUM LOT SIZE:	8 ACRES	18.14 ACRES	18.14 ACRES
MINIMUM LOT WIDTH:	400 FEET	687.1 FEET	687.1 FEET
MINIMUM LOT DEPTH:	400 FEET	810.4 FEET	810.4 FEET
MINIMUM FRONT YARD:	100 FEET	86.3 FEET	86.3 FEET (D)
MINIMUM REAR YARD:	100 FEET	50.7 FEET	50.7 FEET (D)
MINIMUM SIDE YARD:	100 FEET	50.2 & 75.0 FEET	50.2 & 75.0 FEET (D)
MAXIMUM BUILDING HEIGHT:	35 FEET	35 FEET MAX.	35 FEET MAX.
MAXIMUM IMPERVIOUS COVERAGE:	60%	75.0%	74.6%
MAXIMUM FLOOR AREA RATIO:	0.20	0.20	0.20
PARKING REGULATIONS:			
MINIMUM PARKING STALL DIMENSIONS:	9 FEET x 20 FEET	9 FEET x 18 FEET	9 FEET x 20 FEET
MINIMUM PARKING STALL DIMENSIONS (ADJACENT TO CURB):	9 FEET x 18 FEET	9 FEET x 20 FEET	9 FEET x 18 FEET
MINIMUM PARKING DRIVE AISLE WIDTH (90° STALLS):	25 FEET	25 FEET	25 FEET
MINIMUM REQUIRED OFF-STREET PARKING SPACES:			
SHOPPING CENTER(75,000-400,000 SF GFA) (142,455 SF):	4 SP./1,000 SF GFA (632 SPACES EX) (570 SPACES PR)	4.27 SP./1,000 SF GFA (675 SPACES)	4.32 SP./1,000 SF GFA (616 SPACES)
MEDICAL OFFICE (15,852 SF):	1 SP./175 SF GFA (90 SPACES EX) (89 SPACES PR)	N/A	1 SP./175 SF GFA (89 SPACES)
TOTAL:	458 SPACES	675 SPACES	705 SPACES (B)
MINIMUM NUMBER OF ADA ACCESSIBLE PARKING SPACES:	18 SPACES	27 SPACES	31 SPACES (C)
MAXIMUM PAVED AREA:	40%	52.4%	51.9% (E)
MINIMUM LANDSCAPED AREA IN PARKING LOT (OVERALL):	3%	2.2%	2.1% (E)



NOTES:
A. THE EXISTING HAMILTON PLAZA SHOPPING CENTER CONSISTS OF APPROXIMATELY 158,037 SF OF GROSS FLOOR AREA OVER 181 ACRES AND IS LOCATED WITHIN ZONING DISTRICT HC (HIGHWAY COMMERCIAL). DEVELOPMENTS WITHIN THE HC DISTRICT ARE SUBJECT TO AREA AND YARD REQUIREMENTS BASED ON EITHER THE INDIVIDUAL USE OR THE ENTIRETY OF SHOPPING CENTERS. THIS ZONING SUMMARY IS REFLECTIVE OF THE ENTIRE PROPERTY BEING CONSIDERED AS A SHOPPING CENTER.
B. HAMILTON ORDINANCE 8550-119(F)(2) REQUIRES THAT WHERE A USE OF LAND INCLUDES DIFFERENT SPECIFIC ACTIVITIES WITH DIFFERENT SPECIFIC PARKING REQUIREMENTS, THE TOTAL NUMBER OF REQUIRED PARKING SPACES SHALL BE THE SUM OF THE PARKING REQUIREMENTS FOR EACH DIFFERENT ACTIVITY. PARKING REQUIRED FOR THE PROPOSED ROTHMAN HAS BEEN CALCULATED USING THE MEDICAL OFFICE USE REQUIREMENT, AND PARKING REQUIRED FOR THE REMAINDER OF THE PROPERTY HAS BEEN CALCULATED USING THE SHOPPING CENTER USE REQUIREMENT IN ACCORDANCE WITH PREVIOUS APPROVALS.
C. SECTION 208.2.2 OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN REQUIRES THAT 20% OF PATIENT AND VISITOR PARKING SPACES PROVIDED TO SERVE REHABILITATION AND OUTPATIENT FACILITIES SHALL BE ADA ACCESSIBLE SPACES. APPROXIMATELY 3,400 SF OF THE PROPOSED ROTHMAN IS DEDICATED TO PHYSICAL THERAPY, WHICH REQUIRES 20 PARKING SPACES PER HAMILTON ORDINANCE 8550-119(F)(2). OF THOSE 20 PARKING SPACES, A MINIMUM OF 20% OR 4 SPACES, SHALL BE ADA ACCESSIBLE. THIS REQUIREMENT IS IN ADDITION TO THE TYPICAL ADA PARKING REQUIREMENT FOR THE REMAINDER OF THE PROPERTY.
D. REPRESENTS EXISTING NON-CONFORMING CONDITION TO REMAIN UNCHANGED.
E. REPRESENTS EXISTING NON-CONFORMING CONDITION TO BE IMPROVED.

Date	Description	No.
Revisions		
SIGNATURE		DATE SIGNED
SCOTT R. QUIGLEY		
PROFESSIONAL ENGINEER NJ Lic. No. 24GE05393000		
<p>LANGAN</p> <p>1818 Market Street, Suite 3300, Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com</p> <p>Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc. Langan CT, Inc. Langan International LLC Collectively known as Langan</p>		
Project		
<p>HAMILTON PLAZA ROTHMAN</p> <p>TOWNSHIP OF HAMILTON MERCER COUNTY NEW JERSEY</p> <p>HAMILTON TOWNSHIP APPLICATION NO. TBD</p>		
Drawing Title		
<p>MASTER SITE PLAN</p>		
Project No.		Drawing No.
220076106		
Date		
20 APRIL 2020		
Scale		
1"=60'		CS-100
Drawn By		
JOB		
Checked By		
SRQ/BMC		SHEET 5 OF 17



5. Minor Subdivision
MC #20-801

Innovation Park at East Windsor

East Windsor Township
148-210 Princeton-Hightstown Rd.
(CR 571)
Block 5.01, Lots 12, 13, 14 & 15

Consolidations of existing lots and demolition of the existing 206,869 (sf) building for subdivision of the combined lots into three (3) new lots. New Lot 3.01 = 36.28 (ac), new Lot 13.02 = 21.81 (ac) and new Lot 13.03 = 28.37 (ac)

Innovation Park at East Windsor - File # 20-801 - Minor Subdivision
148-210 Princeton-Hightstown Rd.
East Windsor Township
Block 5.01 Lots 12, 13, 14 & 15



Innovation Park
at East Windsor



May 2020

1 inch = 600 feet

PROPERTY OWNERS WITHIN 200' OF
BLOCK 5.01, LOTS 12, 13, 14 AND 15

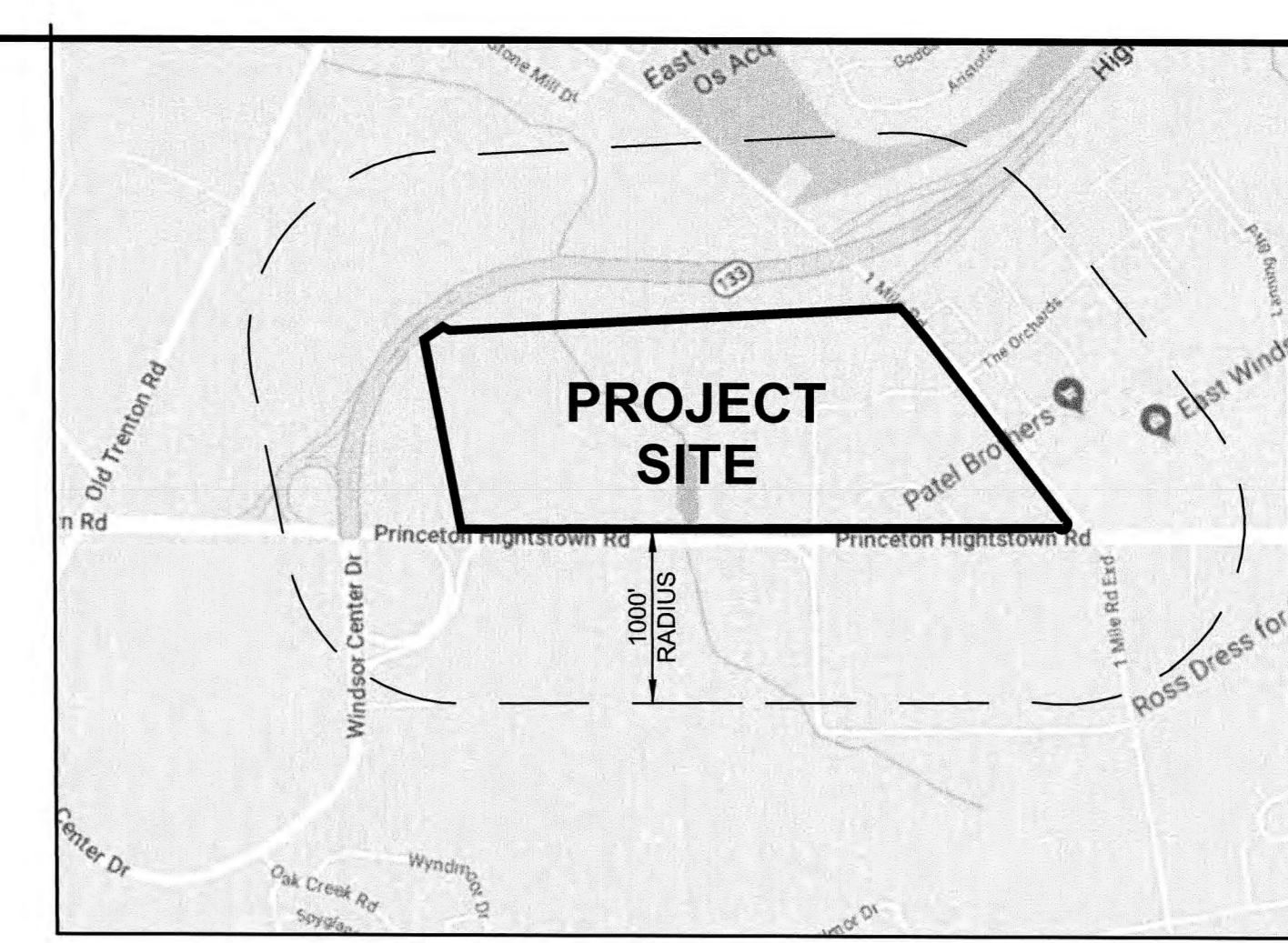
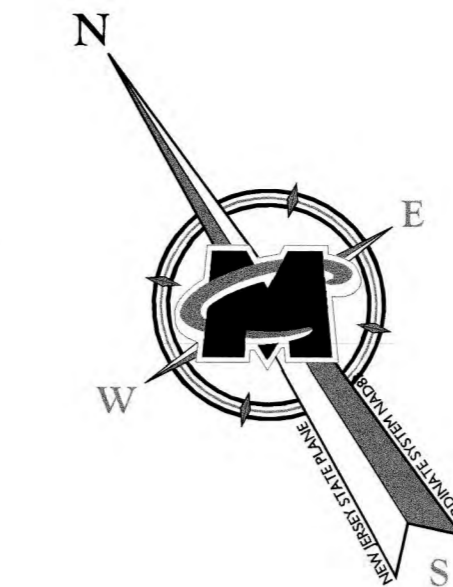
EAST WINDSOR TOWNSHIP

Table with 3 columns: BLOCK, LOT, OWNER. Lists adjacent property owners and their details.

UTILITIES

Utility providers and service details for the area, including East Windsor Utilities Authority, Verizon, and AT&T.

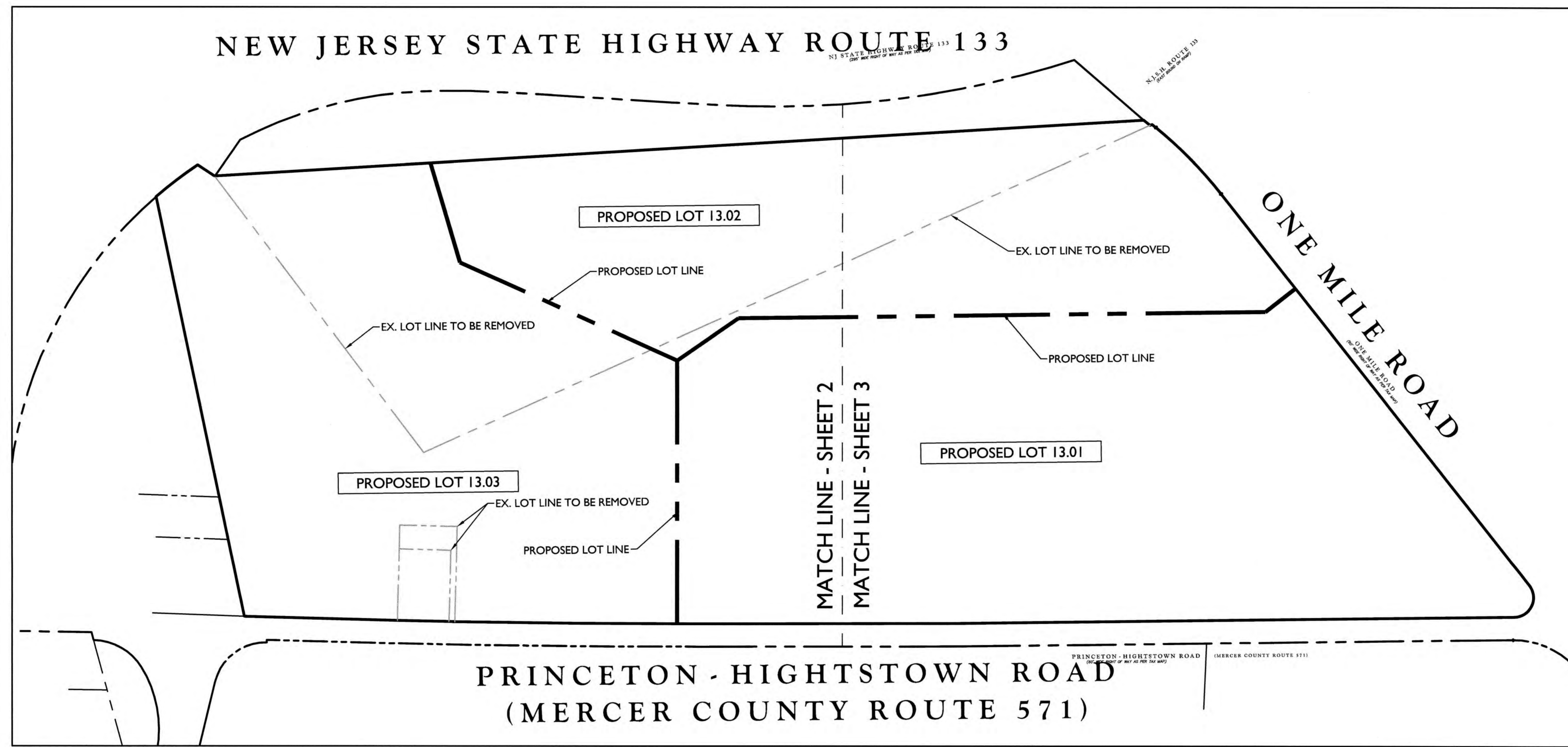
MINOR SUBDIVISION
FOR
INNOVATION PARK AT EAST WINDSOR
BLOCK 5.01, LOTS 12, 13, 14, AND 15
EAST WINDSOR TOWNSHIP
MERCER COUNTY, NEW JERSEY



LOCATION MAP
SCALE 1" = 1000'

INFORMATION OF FACT

- 1. THIS SURVEY AND PLAN IS BASED UPON THE FOLLOWING DATA AND/OR EXCEPTIONS:
a) OWNER: MCGRAW-HILL FINANCIAL INC.
b) DEED OF RECORD: DEED BOOK 4185, PAGE 1476; DEED BOOK 4185, PAGE 1494; DEED BOOK 4185, PAGE 1500
c) FIELD SURVEY: FIELD LOCATED ON OCTOBER 22-31, 2018
d) FILED MAP: YES
e) TAX MAP: YES
f) TITLE REPORT: FIRST AMERICAN TITLE INSURANCE COMPANY
g) OTHER (SEE REFERENCES): SEE NOTES 5
2. AREA: 3,788.33407 SF +/- 86,968 AC +/-
3. THIS IS TO CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP, PLAN OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON OCTOBER 22-31, 2018 BY ME OR UNDER MY DIRECT SUPERVISION...
4. THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF...
5. REFERENCES:
A. PLAN ENTITLED "SITE BOUNDARY & TOPOGRAPHIC SURVEY OF BLOCK 5.01, LOTS 12, 13, 14 AND 15, KNOWN AS - 148 PRINCETON-HIGHTSTOWN ROAD PREPARED FOR MCGRAW-HILL FINANCIAL, SITUATE IN EAST WINDSOR TOWNSHIP, MERCER COUNTY, NJ" ISSUED BY VAN NOTE-HARVEY ASSOCIATES, P.C., DATED AUGUST 7, 2015.
B. PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR S&P GLOBAL, INC., BLOCK 5.01, LOT 12-15, EAST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY" ISSUED BY MASER CONSULTING P.A., DATED NOVEMBER 4, 2018, REVISED APRIL 26, 2019.
6. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.
7. CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
8. HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD 83) (NEW JERSEY STATE PLANE COORDINATE SYSTEM); VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
9. THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OR NONEXISTENCE OF WETLANDS AND/OR TOXIC WASTES, THEREFORE IT SHOULD NOT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS OR TOXIC WASTES IS PORTRAYED HEREON. IT IS IN THE BEST INTEREST OF THE CLIENT TO PURSUE THESE MATTERS AS SEPARATE CONCERNS APART FROM THIS SURVEY.
10. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM A TITLE REPORT PROVIDED BY: CHICAGO TITLE INSURANCE COMPANY, FILE NO. 2015-80881, EFFECTIVE DATE: DECEMBER 2, 2015.
11. DO NOT USE DISTANCES TO FOUNDATION TO ESTABLISH PROPERTY LINES.
12. TOPOGRAPHIC INFORMATION AND PHYSICAL FEATURES SHOWN ARE BASED ON AN AERIAL SURVEY BY AXIS GEOSPATIAL, LLC, ON OCTOBER 25, 2018.
13. A PORTION OF THE SITE IS LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.25% ANNUAL CHANCE FLOODPLAIN, ZONE A - NO BASE FLOOD ELEVATION DETERMINED, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR MERCER COUNTY, NEW JERSEY, COMMUNITY PANEL NUMBER 34021C018F, EFFECTIVE DATE JULY 20, 2016, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
14. THERE ARE EXISTING BUILDINGS, UTILITIES AND OTHER FEATURES ON THE SITE PER PLAN REFERENCE 58. A SUBMISSION WAIVER IS BEING REQUESTED.
15. WOODED AREAS INDICATING PREDOMINANT SPECIES AND SIZE.
16. NATURAL RESOURCE INVENTORY INFORMATION.
17. LOCATION OF EXISTING RAILROADS, BRIDGES, CULVERTS, DRAINAGE PIPES, WATER AND SEWER MAINS AND OTHER MANMADE INSTALLATIONS AFFECTING THE TRACT.



KEY MAP
SCALE: 1" = 200'

ZONING INFORMATION

Table with 4 columns: R-O ZONE DISTRICT REGULATIONS, REQUIRED, LOT 13.01, LOT 13.02, LOT 13.03. Lists zoning requirements for various regulations.

NOTE - ZONING REQUIREMENTS AS SHOWN HEREON TAKEN FROM PLAN ENTITLED "PRELIMINARY AND FINAL SITE PLAN AND MINOR SUBDIVISION FOR INNOVATION PARK AT EAST WINDSOR, BLOCK 5.01, LOTS 12, 13, 14 & 15, EAST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING P.A., DATED APRIL 25, 2019.

THE SURVEYOR WHO PREPARED THIS PLAN IS NOT QUALIFIED TO INTERPRET THE ZONING INFORMATION. THE ZONING INFORMATION SHOULD BE VERIFIED WITH THE TOWNSHIP AND/OR QUALIFIED ENGINEER BEFORE BEING RELIED UPON.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLES WITH THE "MAP FILING LAW". I FURTHER CERTIFY THAT THE POINTS ARE AS DESIGNATED AND SHOWN HAVE BEEN SET.

MICHAEL F. BURNS, NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE NO. G534841

I HEREBY CERTIFY THAT I AM THE OWNER NAMED HEREON OF LOTS 12-15, BLOCK 5.01 AND THE SUBDIVISION APPLICATION IS MADE WITH MY AUTHORIZATION AND CONSENT AND IS IN FULL ACCORDANCE WITH MY DESIRES.

OWNER: MCGRAW-HILL FINANCIAL INC. DATE: 4/1/20

MUNICIPAL ENGINEER: [Signature] DATE: [Blank]

THIS PLAN HAS BEEN APPROVED BY A RESOLUTION OF THE EAST WINDSOR TOWNSHIP PLANNING BOARD ADOPTED AT A MEETING HELD ON [Blank] DATE [Blank]

PLANNING BOARD CHAIRMAN: [Blank] DATE: [Blank]

PLANNING BOARD SECRETARY: [Blank] DATE: [Blank]

MASER CONSULTING P.A. logo and contact information.

811 logo and information regarding utility services.

Table with 2 columns: REVISION, DATE. For tracking changes to the plan.

Table with 2 columns: DESCRIPTION, DATE. For tracking drawing and revision history.

SIGNATURE OF MICHAEL F. BURNS, NEW JERSEY PROFESSIONAL LAND SURVEYOR - LICENSE NUMBER: G534841.

MINOR SUBDIVISION PLAN FOR INNOVATION PARK AT EAST WINDSOR. APPLICANT: TUNE METRO DEVELOPMENT, INC.

MT. LAUREL OFFICE, 2000 Melanite Drive, Suite 100, Mount Laurel, NJ 08054.

Table with 4 columns: SCALE, DATE, DRAWN BY, CHECKED BY. Details project metadata.

SHEET TITLE: MINOR SUBDIVISION PLAN

SHEET NUMBER: 1 of 3

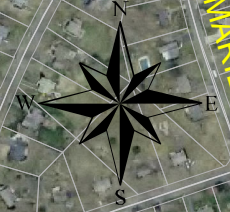
6. Site Plan
MC #20-802

Innovation Park at East Windsor

East Windsor Township
148-210 Princeton-Hightstown Rd.
(CR 571)
Block 5.01, Lots 12, 13, 14 & 15

Construction of two (2) warehouses buildings totaling 574,319 (sf) with 478 parking spaces.
(needs cross access easements for driveways)

Innovation Park at East Windsor - File # 20-802 - Site Plan
148-210 Princeton-Hightstown Rd.
East Windsor Township
Block 5.01 Lots 12, 13, 14 & 15



Innovation Park
at East Windsor



130

1 inch = 600 feet

May 2020

REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

Julia G. Algeo
JULIA G. ALGEO
 NEW JERSEY PROFESSIONAL
 ENGINEER - LICENSE NUMBER: GE4313

**PRELIMINARY & FINAL
 SITE PLAN &
 MINOR SUBDIVISION**
 FOR
**INNOVATION PARK
 AT EAST WINDSOR**
 APPLICANT: TC NE METRO DEVELOPMENT, INC.
 300 CONSHOHOCKEN STATE RD., SUITE 210
 WEST CONSHOHOCKEN, PA 19428
 OWNER: S & P GLOBAL, INC.
 55 WATER STREET
 NEW YORK, NY 10041
 BLOCK 5.01, LOTS 12, 13, 14 & 15
 RD ZONE DISTRICT
**EAST WINDSOR TOWNSHIP
 MERCER COUNTY, NJ**

HAMILTON OFFICE
 1000 Waterview Drive
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.587.8200
 Fax: 609.587.8260

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	APRIL 29, 2019	AG	RA
PROJECT NUMBER:	DRAWING NAME:		
15002401C	C-LAYT-OVRL		

**OVERALL
 DIMENSION PLAN**

SHEET NUMBER
4 of 43

