

MERCER COUNTY AGRICULTURE DEVELOPMENT BOARD
Request for Site Specific Agricultural Management Practice (AMP) Recommendation
Part 1 – Commercial Farm Determination Questionnaire

Date: 5-25-23

Commercial Farm Operator: Peter Brittain

Landowner (if Different): _____

Name of Commercial Farm: Coast Nursery

Farm Address: 70 Extonville Rd, Hamilton NJ 08620

Mailing Address: Po Box 335, Allentown NJ 08501

Telephone Number(s): 609-208-2199

Email: Peter@CoastLD.com

Identification of Farm Management Unit:

Municipality	Block	Lot	Acres	Product/Operation	Date Started
Hamilton	2739	14	55	Nursery Stock & Hops	5-25-1997
Total Acreage			55		

Use additional sheet if necessary.

The nature of my operation or practice is as follows (describe the farm operation in detail and all agricultural activities conducted on the property; use additional sheets if necessary):

Nursery Stock on the majority. Newly Planted Hops on 1/2 Acre. Farm Brewery under construction on 2 acres.

The farm produces the following agricultural/horticultural commodities (please provide list):

Nursery Stock Hops

Does the farm management unit receive different farmland assessment taxation treatment?

YES NO

If yes, please attach a copy of the most recent filed farmland assessment form(s).

If no, are you eligible? YES NO

If you are eligible but not farmland assessed please explain:

I certify that Coast Nursery (*Insert name of commercial farm*) is five acres or more, produces agricultural and/or horticultural products worth \$2,500 or more annually, and is eligible for differential property taxation pursuant to the Farmland Assessment Act of 1964. **If the land is farmland assessed, I have attached a copy of the filed farmland assessment form(s). If the land is not farmland assessed, I have attached a copy of the tax map representing the farm acreage.**

OR

I certify that _____ (*Insert name of commercial farm*) is less than five acres, produces agricultural/horticultural products worth \$50,000 or more annually and otherwise satisfies the eligibility criteria for differential property taxation pursuant to the Farmland Assessment Act of 1964. **I have attached a copy of the tax map representing the farm acreage.**

OR

I certify that _____ (*Insert name of commercial farm*) is a beekeeping operation that produces honey or other agricultural or horticultural apiary-related products, or provides crop pollination services, worth \$10,000 or more annually.

Annual Gross Receipts from Farm Management Unit Operation: \$ 55,000

Total agricultural production income for:

Tax Year 2022 = \$ 55,000

(You may wish to provide or be asked to provide data for additional years)

If you operate a farm market, what is the percentage of annual gross sales generated from items produced on your farm management unit? NA

What percentage of the sales area is devoted to the sale of agricultural output of the farm?

100 %

To enable us to evaluate consistency with the municipal zoning ordinance, please list the zone or zones in which the farm management unit is located.

RRC – Rural Resource Conservation

Does this zone(s) permit agriculture? YES NO

If you are only seeking Commercial Farm certification at this time and not a SSAMP determination please explain why:

Please return this Request with the following documents (*check as attached*):

<input checked="" type="checkbox"/>	Most recently filed FA-1 farmland assessment form(s).
<input checked="" type="checkbox"/>	Tax map
<input checked="" type="checkbox"/>	Site map showing location(s) of all agricultural production activities as well as ancillary and nonagricultural activities (You may use an aerial map, tax map, or existing survey as a base).
<input checked="" type="checkbox"/>	Proof of agricultural production income in the form of sales receipts, an IRS Schedule F, or similar documentation. Provide income totals for each year of receipts submitted.
<input checked="" type="checkbox"/>	Proof that the farm was in operation as of July 2, 1998 or is located in an area in which, as of December 31, 1997 or thereafter, agriculture has been permitted under the municipal zoning ordinance or is consistent with the municipal master plan.
<input checked="" type="checkbox"/>	Notarized Commercial Farm Certification Form (see pages 5 & 6) completed, signed and notarized.

PCBA President

Applicant Signature/Title

5-25-23

Date

MERCER COUNTY AGRICULTURE DEVELOPMENT BOARD
Request for Site Specific Agricultural Management Practice (AMP) Recommendation
Part 2 – Agricultural Management Practices Questionnaire

Describe in detail the specific activity or activities you want the Mercer County Agriculture Development Board (Mercer CADB) to consider for development of a Site Specific AMP.

Farm Brewery with Hop Yard

Describe any activities that take place on the farm management unit that are ancillary to the agricultural production activities or nonagricultural in nature (examples include horse boarding, storage of lawn maintenance equipment, etc.)

Farm Equipment Stored and Repaired in Garage Area.

Please attach a site map that details the location of the agricultural production activities described above and the other activities that take place on site.

Are you seeking relief from any municipal ordinances? YES NO

If so, please explain:

Are any of the activities on the farm being disputed by neighboring property owners, the municipality or any other party? YES NO

If so, please provide further details:

Has the matter been heard in court? YES NO

If so, please provide further details about the proceedings including dates, outcomes, etc.

Would you be willing to participate in a free, voluntary mediation program that could help resolve the conflict? YES NO

Please see attached for more information.

Is there another reason that you are seeking an SSAMP Recommendation from the Mercer CADB?

Does the farm have a conservation plan prepared by the USDA-Natural Resources Conservation Service (NRCS)?

YES NO - NOT THAT I AM AWARE OF

If yes, are you willing to provide a copy of the plan to the Mercer CADB?

YES NO

Are you working with any other government agencies regarding the current or proposed activities on your farm (such as the NJ Department of Environmental Protection, NJ Department of Transportation, NJ Department of Agriculture, or Mercer County Division of Engineering)?

If so, please explain:

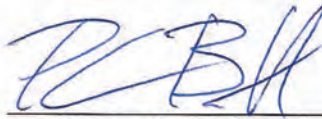
NJDEP – Recently went through the TWA process for our Septic and everything passed. See Attached Permit.

NJ Department of Agriculture – Received approval for recycling our Brewery Waste through a process called Land Casting. The recycled material gets reused as fertilizer on the farm. See attached approval.

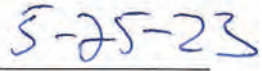
Please return this request with the following documents not already covered in Part 1 (check as attached):

<input checked="" type="checkbox"/>	Site plans related to proposed new structures
<input type="checkbox"/>	USDA-NRCS Conservation Plan (if one exists and you choose to submit)
<input type="checkbox"/>	Animal waste management plan (if relevant)

<input type="checkbox"/>	Forest Management Plan
--------------------------	------------------------



Applicant Signature



Date

4. I have attached proof that the farm:
- a) is located in an area in which, as of December 31, 1997 or thereafter, agriculture has been a permitted use under the municipal zoning ordinance and is consistent with the municipal master plan,
- OR**
- b) was in operation as of July 2, 1998.
5. To the best of my knowledge and belief, my agricultural operation is in compliance with all relevant federal and New Jersey statutes, rules and regulations.
6. I understand that as per Right to Farm regulations, written notice of this request shall be given by the commercial farm, at its sole expense, via certified mail, return receipt requested, and/or by personal service, to: 1) the clerk and land use board secretary of the municipality in which the commercial farm is located; including any adjoining municipalities if located within 200'; 2) the owners of all real property within 200 feet in all directions of the property; 3) the SADC; 4) the county planning board if the commercial farm is located on property adjacent to a county road or county-owned property; 5) the Commissioner of the New Jersey Department of Transportation, if the commercial farm is located on a State highway; and 6) the public, by publication in the official newspaper of the municipality, if there is one, or in a newspaper of general circulation in the municipality.
7. I understand that within 30 days of the Mercer CADB's issuance of its written recommendation, it will forward the relevant resolution(s) to the commercial farm owner and the commercial farm operator if applicable; the aggrieved person if the matter involves a complaint pursuant to N.J.S.A. 4:1C-10.1 and N.J.A.C. 2:76-2.7; the municipality(ies) in which the commercial farm is located; the State Agriculture Development Committee (SADC) and any other individuals or organizations deemed appropriate by the Mercer CADB.
8. I understand that any person aggrieved by any decision of the Mercer CADB regarding a commercial farm determination or recommendation of a site specific agricultural management practice, including myself, may appeal the decision to the SADC in accordance with the provisions of the Administrative Procedure Act, N.J.S.A. 52:14B-1 et seq., and the Uniform Administrative Procedure Rules, N.J.A.C. 1:1, within 45 days from receipt of the board's final determination.
1. The decision of the SADC shall be considered a final administrative agency decision.
 2. If the Mercer CADB's decision is not appealed within 45 days, the Mercer CADB's decision is binding.

MERCER COUNTY AGRICULTURE DEVELOPMENT BOARD
Request for Site Specific Agricultural Management Practice (AMP) Recommendation
Part 3 – Notarized Commercial Farm Certification Form

CERTIFICATION OF

Peter Brittain
(NAME OF COMMERCIAL FARM OWNER/OPERATOR)

Coast Nursery
(NAME OF COMMERCIAL FARM)

70 Extonville Rd, Hamilton NJ 08620
(ADDRESS OF COMMERCIAL FARM)

I, Peter Brittain, hereby certify the following:

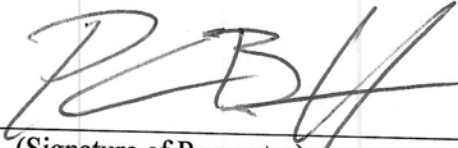
1. I am (one of) the owner(s)/operator(s) of Coast Nursery
(NAME OF COMMERCIAL FARM).
2. For full SSAMP requests: I am hereby requesting the Mercer County Agriculture Development Board (Mercer CADB) to determine if my operation constitutes a generally accepted agricultural operation or practice. The nature of my operation and agricultural activities are correctly listed on the attached Commercial Farm Determination Questionnaire and/or Agricultural Management Practice Questionnaire.
3. I certify that Coast Nursery
(NAME OF COMMERCIAL FARM) is five acres or more, produces agricultural and/or horticultural products worth \$2,500 or more annually, and is eligible for differential property taxation pursuant to the Farmland Assessment Act of 1964. A list of agricultural/horticultural commodities produced on the commercial farm is attached. If land is farmland assessed, a copy of the filed farmland assessment form(s) is (are) attached. If land is not farmland assessed, a copy of the tax map representing the farm acreage is attached.

OR

I certify that _____
(NAME OF COMMERCIAL FARM) is less than five acres, produces agricultural and/or horticultural products worth \$50,000 or more annually (or \$10,000 of apiary-related products) and otherwise satisfies eligibility criteria for differential property taxation pursuant to the Farmland Assessment Act of 1964. A list of agricultural/horticultural commodities produced on the commercial farm is attached. A copy of the tax map representing the farm acreage is attached. I have attached proof of my agricultural production income.

9. I understand that the Mercer CADB may require that I submit additional information and I agree to provide such information. I also understand and agree that my failure to provide requested information to the Mercer CADB may result in the denial of commercial farm eligibility.

Dated: 5-25-23



(Signature of Requestor)

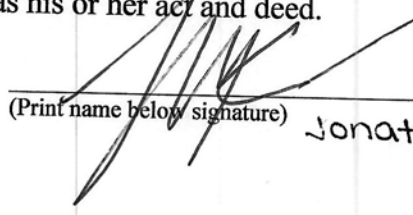
(Individual Acknowledgment)

STATE OF NEW JERSEY
COUNTY OF mercer SS:

I CERTIFY that on 25th day of May, 2023, Peter Britain personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- a) is named in and personally signed this document; and
- b) signed, sealed and delivered this document as his or her act and deed.

Jonathan Kanuck
Attorney at Law
State of New Jersey


(Print name below signature) Jonathan Kanuck

(Corporate Acknowledgement)

STATE OF NEW JERSEY
COUNTY OF _____ SS:

I CERTIFY that on _____ day of _____, 202__, _____ personally came before me and acknowledged under oath, to my satisfaction, that this person:

- a) is the _____ of _____, the entity named in this document; and
- b) signed, sealed and delivered this document as the act and deed of such entity pursuant to a resolution of its _____.

(Print name and title below signature)

SECTION 3 – CURRENT YEAR FARMING ACTIVITY – *Indicate acres to nearest 10th. Include Double Cropping. For example, two plantings on 50 acres should be reported as 100 acres.*

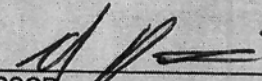
INSERT CURRENT YEAR HARVESTED OR TO BE HARVESTED ACRES FOR LAND ONLY IN SECTION 2

A. FIELD CROPS (Harvested Acres)	Acres	C. ORNAMENTAL CROPS	Acres	E. VEGETABLE CROPS (Harvested Acres)	Acres	G. ANNUAL HARVEST OF WOODLAND PRODUCTS	Cords, Board Feet etc.
Irrigated Acres.....	(80)	Irrigated Acres.....	(82)	Irrigated Acres.....	(83)	Fuelwood (cords).....	(67)
Barley (grain).....	(11)	Bedding plants.....	(28)	Asparagus.....	(46)	Pulpwood (cords).....	(68)
Corn for grain.....	(12)	Flowers (cut).....	(29)	Beans, lima.....	(47)	Timber (Bd. Ft.).....	(69)
Corn for silage.....	(13)	Trees & shrubs (nursery).....	(30)	Beans, snap.....	(48)	Other:	
Hay (alfalfa).....	(15)	Sod (cultivated).....	(31)	Cabbage.....	(49)	(specify).....	
Hay (other excluding salt hay).....	(16)	Christmas trees.....	(32)	Carrots.....	(50)		
Oats (grain).....	(17)	Other:		Corn, sweet.....	(51)		
Rye (grain).....	(18)	(specify).....		Cucumbers.....	(52)		
Sorghum.....	(19)			Eggplant.....	(53)		
Soybeans.....	(20)	D. LIVESTOCK	Avg. # of Livestock	Lettuce.....	(54)		
Wheat.....	(21)	All beef cattle.....	(33)	Onions.....	(55)		
Cover Crops Planted: (specify).....		Dairy.....	(34)	Peas.....	(56)		
Other Field Crops: (specify).....		Dairy (young).....	(35)	Peppers (bell).....	(57)		
		Horses & ponies.....	(36)	Potatoes (white).....	(58)		
		Sheep.....	(37)	Potatoes (sweet).....	(59)		
B. FRUIT CROPS (Bearing Acres)	Acres	Swine.....	(38)	Pumpkins.....	(60)		
Irrigated Acres.....	(81)	Bees (Hives).....	(39)	Spinach.....	(61)		
Apples.....	(22)	Ducks.....	(40)	Squash.....	(62)		
Blueberries.....	(23)	Fur animals.....	(41)	Tomatoes.....	(63)		
Cranberries.....	(24)	Goats.....	(42)	Melons.....	(64)		
Grapes.....	(25)	Chickens (meat).....	(43)	Mixed & other vegetable.....	(65)		
Nectarines.....	(86)	Chickens (layers).....	(44)	Other:			
Peaches.....	(26)	Turkeys.....	(45)	(specify).....			
Strawberries.....	(27)	Other:		F. AQUACULTURE	Acres		
Other fruit crops: (specify).....		(specify).....		Fresh water, food fish or plants for harvest or sale.....	(66)		
Non-bearing fruit: (specify).....				Other: (specify).....			

SECTION 4 – SIGNATURE & VERIFICATION OF OWNER(S)

The undersigned declares that this form, including any accompanying schedules and statements, has been examined by him (her) and to the best of his (her) knowledge and belief is true and correct. Filing of this form is also a representation that the land will continue to be devoted to an agricultural or horticultural use during the year for which farmland assessment is requested. Under N.J.S.A. 54:4-23.14(b), this certification shall be considered as if made under oath and is subject to the same penalties as provided by law for perjury. In addition, for a gross and intentional misrepresentation on this form, the landowner shall be subject to a civil penalty of up to \$5,000.

Signature of Individual Owner or Co-owner _____ Date _____ OR Signature of Corporate Officer _____ Date _____ Corporate Name _____

This application is:	RESERVED FOR OFFICIAL USE	
	<input checked="" type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED	Date <u>11/5/23</u> ASSESSOR 

FILE THIS FA-1 APPLICATION IN DUPLICATE AND ONE SUPPLEMENTAL FA-1 GROSS SALES FORM WITH YOUR ASSESSOR. TAXPAYER SHOULD RETAIN COPIES FOR OWN RECORDS. (IF ENTRY MADE IN SECTION 2, LINE 4, FILE A COPY OF FA-1, AWD-1 FORM, AND AN ACTIVITY MAP WITH THE NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION.)

APPLICATION FOR FARMLAND ASSESSMENT

N.J.S.A. 54:4-23.1 et seq.; N.J.A.C. 18:15-1.1 et seq. SEE INSTRUCTIONS

FILE ANNUALLY BY AUGUST 1 OF THE PRE-TAX YEAR

COUNTY Mercer MUNICIPALITY Hamilton Twp TAX YEAR 2023

Check if ALL farmland assessed acres are woodlands under a: Woodland Management Plan
 NJ Forest Stewardship Plan (Effective 2019)
(DO NOT CHECK IF MIX USE)

SECTION 1 – IDENTIFICATION INFORMATION (Please print or type all information)

(1) Owner's Name BRITAIN PETER & CAREY
 (2) Mailing Address P O BOX 335
ALLENTOWN NJ 08501
 (3) Telephone 609-903-7981
 (4) Email Address Carey@CoastLO.com
 (5) Land Location EXTON-ALLENTOWN RD
 (6) Block(s), Lot(s), Qual. No. 2739-14-QFARM
 (7) The land is farmed solely by owner
 rented to farmer
 farmed by owner and tenant
 (8) Is farm deed restricted to agriculture? Yes No # of Acres 53.58

(9) Farm operator(s) other than owner:
 (a1) Name _____
 (b1) Address _____

 (c1) Telephone () _____
 (a2) Name _____
 (b2) Address _____

 (c2) Telephone _____

Total Acreage **53.58**

SECTION 2 – BREAKDOWN OF LAND USE CLASSES (All entries and totals must be accurate)

Insert the current year's acreage in the appropriate land use class. Indicate acres to the nearest 100th– DO NOT USE DIMENSIONS

ACTIVELY DEVOTED LAND	REFER TO DEFINITIONS OF LAND USE CLASSES UNDER INSTRUCTIONS	Acreege	LAND NOT ACTIVELY DEVOTED	Acreege
(1) Cropland harvested	(1) _____	(9) Land under and land used in connection with farmhouse.	(9) <u>20</u>	(9) <u>20</u>
(2) Cropland pastured <small>(Don't include acreage in #6)</small>	(2) _____	(10) All other land not devoted to agricultural / horticultural use	(10) _____	(10) _____
(3) Permanent pasture	(3) _____	(11) Total NOT devoted to agricultural or horticultural use <small>(Sum of lines 9 & 10)</small>	(11) _____	(11) _____
(4) Non-appurtenant woodland <small>(See instructions before making entry)</small>	(4) _____	(12) TOTAL ACREAGE OF ALL LAND (Sum of lines 8 & 11)	(12) <u>55.00</u>	(12) <u>55.00</u>
(5) Appurtenant woodland or wetland <small>(See instructions before making entry)</small>	(5) _____	<small>*If fewer than five acres are located in this municipality, list the municipality, block(s) & lot(s) of contiguous acreage</small>		
(6) Acres used for: <small>(don't include pastured acres)</small> (a) _____ (b) _____ (c) _____ <small>boarding rehabilitating training</small>	(6) _____ Total a, b & c	(13) Is there a claim for land under: • Seasonal farm markets? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> • Seasonal agricultural labor housing? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
(7) Acres used for renewable energy	(7) _____	(14) Is there a claim for land under: • solar <input type="checkbox"/> wind <input type="checkbox"/> biomass <input type="checkbox"/>		
(8) Total ACRES to Agricultural OR Horticultural use (Sum of lines 1 to 7)	(8) <u>53.58</u>			

This form is prescribed by the Director, Division of Taxation, as required by law, and may not be altered without the approval of the Director.
 Form: FA-1 Rev: Mar. 2018

SUPPLEMENTAL FARMLAND ASSESSMENT GROSS SALES FORM
 N.J.S.A. 54:4-23.1 ; N.J.A.C. 18:15-1.1 et seq.

FILE ANNUALLY BY AUGUST 1 OF THE PRE-TAX YEAR

If the application includes a Form WD-1, check one: Woodland Management Plan
 NJ Forest Stewardship Plan (Effective 2019)

SECTION I: IDENTIFICATION

COUNTY: <u>Mercer</u>	MUNICIPALITY: <u>Hamilton Twp</u>
OWNER'S NAME: <u>BRITTAIN PETER & CAREY</u>	TAX YEAR: <u>2023</u>
PROPERTY LOCATION: <u>EXTON-AlLENTOWN RD</u>	BLOCK(s), LOT(s): <u>2739-14-QFARM</u>
TELEPHONE: <u>609-208-2199</u>	EMAIL: <u>Carey@CoastId.com</u>

SECTION II: GROSS SALES

Field Crops	Acres	Ornamental Crops	Acres	Aquaculture	Acres	Income Acres
_____	_____	_____	_____	_____	_____	<u>5358</u>
_____	_____	_____	_____	_____	_____	Non-Income Acres
_____	_____	_____	_____	_____	_____	+ <u>1.42</u>
Fruit Crops	Acres	Livestock	Acres	Woodland Products	Acres	Total Acres Under Farmland
_____	_____	_____	_____	<u>Ornamental Trees</u>	<u>45.00</u>	= <u>5300</u>
_____	_____	_____	_____	_____	_____	
Vegetable Crops	Acres	Equine	Acres	Conservation Program	Acres	FINAL INCOME
_____	_____	_____	_____	_____	_____	Total income received and anticipated for the current year. Must be sufficient to meet the minimum gross sales criteria, if applicable, to show active devotion to agriculture/horticultural use.
_____	_____	_____	_____	_____	_____	\$
_____	_____	_____	_____	_____	_____	
Imputed Grazing Value Acres _____						

SECTION III: SIGNATURE AND VERIFICATION OF OWNER(S)

The undersigned declares that this form, including any accompanying schedules and statements, has been examined by him (her) and to the best of his (her) knowledge and belief is true and correct. Filing of this form is also a representation that the land will continue to be devoted to an agricultural or horticultural use during the year for which farmland assessment is requested. Under N.J.S.A. 54:4-23.14(b), this certification shall be considered as if made under oath and is subject to the same penalties as provided by law for perjury. In addition, for a gross and intentional misrepresentation on this form, the landowner shall be subject to a civil penalty of up to \$5,000.

Carey Peter
 Signature of Individual Owner or Co-Owner/Corporate Officer
 Date 6/16/2022
 Title of Corporate Officer _____ Corporate Name _____

THIS MUST BE FILED WITH THE FARMLAND ASSESSMENT APPLICATION (FA-1) AND, WHERE APPLICABLE, WOODLAND DATA FORM (WD-1) AND ACTIVITY MAP

Reserved For Office Use

This Application is: Approved
 Disapproved
 Date: 1/5/23
 Assessor: [Signature]

GENERAL INSTRUCTIONS

APPLICATION: Only one Supplemental Farmland Assessment Gross Sales Form, FA-1 G.S., should be filed annually with the municipal assessor on or before August 1 of the year immediately preceding the tax year for which "farmland assessment" is requested. You are reporting the current year's gross sales for qualification in the next tax year. Late or incomplete applications will be denied. At the assessor's request, applicants must provide proofs of eligibility as prerequisites of the Farmland Assessment Act to receive preferential reduced assessment.

Filing Extension-Assessors may grant an extension of time for filing an FA-1 application and FA-1 Gross Sales form, but no later than September 1 of the year immediately preceding the tax year for which "farmland assessment" is requested, if the assessor is satisfied that failure to file by August 1 was due to (1) the owner's illness and a physician's certificate stating that the owner was physically incapacitated and unable to file by August 1 and the FA-1 & FA-1 G.S. forms are filed with the assessor; or (2) the death of the owner or the owner's immediate family member and a certified copy of the death certificate and the FA-1 & FA-1 G.S. forms are filed with the assessor by the owner or by the executor/executrix of the owner's estate. "Immediate family member" means an owner's spouse, child, parent or sibling residing in the same household. (See N.J.S.A. 54:4-23.6d.)

QUALIFICATIONS: *Farmland assessment* means valuation, assessment and taxation under the Farmland Assessment Act. Land may be eligible for *farmland assessment* when:

- a. The land has been actively devoted to agricultural or horticultural use for at least 2 successive years immediately preceding the tax year for which "farmland assessment" is requested. (See N.J.S.A. 54:4-23.6.)
- b. The land area actively devoted to agricultural or horticultural use is not less than five acres, exclusive of the land upon which the farmhouse is located and such additional land actually used in connection with the farmhouse.
- c. Gross sales, fees or payments (See N.J.S.A. 54:4-23.5).
 1. **Agricultural/Horticultural (Non Woodland):** Gross sales, fees or payments average at least \$1,000 annually on the first five acres and average at least \$5 for each additional acre of actively devoted land plus 50 cents per acre of appurtenant woodland or non-wooded wetlands. Required Income is calculated on the total number of acres under Farmland Assessment on the property, whether income producing or not. (See N.J.S.A. 54:4-23.5.)
 2. **Woodland Management Plan:** If the land is approved under a Woodland Management Plan the gross sales, fees, or payment average \$500 annually on the first five acres and average at least 50 cents for each additional acre of woodland or non-wooded wetlands.
 3. **NJ Forest Stewardship Plan:** Defined under N.J.A.C. 7:3-5, does not have a minimum gross sales requirement to show active devotion, but the land must be actively managed in compliance with the approved plan.
- d. Application by the owner is filed on or before August 1 of the year immediately preceding the tax year. (See N.J.S.A. 54-23.6.)
- e. Farmland management units less than 7 acres are required to submit a descriptive narrative of agricultural/horticultural uses, a sketch of their location, and number of acres devoted.

SECTION I: IDENTIFICATION

Owners' Name: List every individual, partnership or corporation having an ownership interest in the land.

Block(s) & Lot(s): List block(s) and lot(s) comprising a farm of contiguous land from your tax bill; official tax map; or page(s) and line(s) from the current year's tax list.

SECTION II: GROSS SALES

List products produced and the respective acreage under the appropriate headings. The acreages listed for the products in this section should match the values entered in Section 2 of the FA-1 application. If necessary, attach a separate sheet with the break down of additional products produced on the farm and the acreage devoted to those products.

Equine: Includes acres dedicated to the breeding, raising, boarding, training, or rehabilitating of horses and ponies, as well as structures like stables used for the equine activities.

Imputed Grazing Value Acres: Includes acres that are permanent pasture and/or cropland pastured, if the imputed grazing value is being claimed as income for livestock grazing on those acres.

Livestock: Includes permanent pasture and cropland pasture used for grazing livestock if not claiming the imputed grazing value for those acres, as well as land under stables, pens, coops, or other structures used to house livestock.

Woodland Products: Includes any tree and forest products produced from woodland under an approved Woodland Management Plan or *NJ Forest Stewardship Plan* if income is generated. Account for all woodland acres subject to a Woodland Management Plan even when only a particular stand within the parcel is being harvested for income that year. This value should equal the number of acres entered on Line 4 of Section 2 of the FA-1 application.

Total Non-Income Acres: Includes lands under streams or ponds when those bodies of water are not being used for aquaculture production, irrigation ditches, land under solar panels or other renewable energy generation systems, appurtenant woodlands, non-wooded wetlands, and permanent pasture and cropland pastured when used as a break or buffer but not when being grazed by livestock or under a federal soil conservation program. It should also include land under farm buildings, such as sheds, barns, silos, etc., which are used for the storage of farm equipment and harvested products as well as woodlands managed under a *NJ Forest Stewardship Plan* from which no tree or forest products are being harvested for income that year.

Total Acres Under Farmland Assessment: Is the total acreage devoted to agricultural or horticultural use (income producing plus (non-income-producing) acres on the property and should correspond to the value on Line (8) in Section 2 of the FA-1 Application.

Final Income: Is the income produced by the property's actively devoted acres, including income attributable to agricultural/horticultural products produced thereon, payments received under Federal soil conservation programs, fees received for breeding, raising or grazing livestock, income imputed to grazing land as determined by the State Farmland Evaluation Committee, and fees received for boarding, rehabilitating or training livestock where the land under the boarding, rehabilitating or training facilities is within the same property as land otherwise qualified for Farmland Assessment. Rents paid to owners by tenant farmers do not constitute gross sales. Generated energy from any source is not an agricultural or horticultural product and any power or heat sold from biomass, solar, or wind energy generation is not income for valuation, assessment and taxation of land pursuant to the "Farmland Assessment Act of 1964."

SECTION III: SIGNATURE AND VERIFICATION OF OWNER(S)

For non-corporate multiple ownership, one owner is presumed to have authority to sign on behalf of the other co-owners. For a corporate owner or co-owners, the full name of the corporation and the signature and title of the corporate officer authorized to sign the application in its behalf must be provided.

OWNERSHIP—Must be single ownership: i.e., a unified title meaning common ownership by one distinct legal entity of one or more contiguous parcels together.

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Form FA-1 GS Revised: Mar. 2018

APPLICATION FOR FARMLAND ASSESSMENT

N.J.S.A. 54:4-23.1 et seq.; N.J.A.C. 18:15-1.1 et seq. SEE INSTRUCTIONS

FILE ANNUALLY BY AUGUST 1 OF THE PRE-TAX YEAR

COUNTY Mercer MUNICIPALITY Hamilton Twp TAX YEAR 2023

Check if ALL farmland assessed acres are woodlands under a: Woodland Management Plan
 NJ Forest Stewardship Plan (Effective 2019)
(DO NOT CHECK IF MIX USE)

SECTION 1 – IDENTIFICATION INFORMATION (Please print or type all information)

(1) Owner's Name BRITAIN PETER & CAREY
 (2) Mailing Address P O BOX 335
ALLENTOWN NJ 08501
 (3) Telephone 609-903-7981
 (4) Email Address Carey@CoastLO.com
 (5) Land Location EXTON-ALLENTOWN RD
 (6) Block(s), Lot(s), Qual. No. 2739-14-QFARM
 (7) The land is farmed solely by owner
 rented to farmer
 farmed by owner and tenant
 (8) Is farm deed restricted to agriculture? Yes No # of Acres 53.58

(9) Farm operator(s) other than owner:
 (a1) Name _____
 (b1) Address _____

 (c1) Telephone () _____
 (a2) Name _____
 (b2) Address _____

 (c2) Telephone _____

Total Acreage **53.58**

SECTION 2 – BREAKDOWN OF LAND USE CLASSES (All entries and totals must be accurate)

Insert the current year's acreage in the appropriate land use class. Indicate acres to the nearest 100th– DO NOT USE DIMENSIONS

ACTIVELY DEVOTED LAND	Acres	REFER TO DEFINITIONS OF LAND USE CLASSES UNDER INSTRUCTIONS	Acres
(1) Cropland harvested	(1) _____	(9) Land under and land used in connection with farmhouse.	(9) <u>20</u>
(2) Cropland pastured <small>(Don't include acreage in #6)</small>	(2) _____	(10) All other land not devoted to agricultural / horticultural use	(10) _____
(3) Permanent pasture	(3) _____	(11) Total NOT devoted to agricultural or horticultural use (Sum of lines 9 & 10)	(11) _____
(4) Non-appurtenant woodland (See instructions before making entry)	(4) _____	(12) TOTAL ACREAGE OF ALL LAND (Sum of lines 8 & 11)	(12) <u>5500</u>
(5) Appurtenant woodland or wetland (See instructions before making entry)	(5) _____	*If fewer than five acres are located in this municipality, list the municipality, block(s) & lot(s) of contiguous acreage	
(6) Acres used for: <small>(don't include pastured acres)</small> (a) <input type="checkbox"/> boarding (b) <input type="checkbox"/> rehabilitating (c) <input type="checkbox"/> training	(6) _____ Total a, b & c	(13) Is there a claim for land under: • Seasonal farm markets? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> • Seasonal agricultural labor housing? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
(7) Acres used for renewable energy	(7) _____	(14) Is there a claim for land under: • solar <input type="checkbox"/> wind <input type="checkbox"/> biomass <input type="checkbox"/>	
(8) Total ACRES to Agricultural OR Horticultural use (Sum of lines 1 to 7)	(8) <u>53.58</u>		

This form is prescribed by the Director, Division of Taxation, as required by law, and may not be altered without the approval of the Director.
 Form: FA-1 Rev: Mar. 2018

SECTION 3 – CURRENT YEAR FARMING ACTIVITY– *Indicate acres to nearest 10th. Include Double Cropping. For example, two plantings on 50 acres should be reported as 100 acres.*

INSERT CURRENT YEAR HARVESTED OR TO BE HARVESTED ACRES FOR LAND ONLY IN SECTION 2

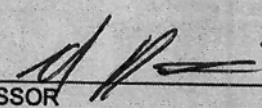
A. FIELD CROPS (Harvested Acres)	Acres	C. ORNAMENTAL CROPS	Acres	E. VEGETABLE CROPS (Harvested Acres)	Acres	G. ANNUAL HARVEST OF WOODLAND PRODUCTS	Cords, Board Feet etc.
Irrigated Acres.....(80)		Irrigated Acres.....(82)		Irrigated Acres.....(83)		Fuelwood (cords).....(67)	
Barley (grain).....(11)		Bedding plants.....(28)		Asparagus.....(46)		Pulpwood (cords).....(68)	
Corn for grain.....(12)		Flowers (cut).....(29)		Beans, lima.....(47)		Timber (Bd. Ft.).....(69)	
Corn for silage.....(13)		Trees & shrubs (nursery).....(30)	45	Beans, snap.....(48)		Other:	
Hay(alfalfa).....(15)		Sod (cultivated).....(31)		Cabbage.....(49)		(specify).....	
Hay (other excluding salt hay).....(16)		Christmas trees.....(32)		Carrots.....(50)			
Oats (grain).....(17)		Other:		Corn, sweet.....(51)			
Rye (grain).....(18)		(specify).....		Cucumbers.....(52)			
Sorghum.....(19)				Eggplant.....(53)			
Soybeans.....(20)		D. LIVESTOCK		Lettuce.....(54)			
Wheat.....(21)		Avg. # of Livestock		Onions.....(55)			
Cover Crops Planted: (specify).....		All beef cattle.....(33)		Peas.....(56)			
Other Field Crops: (specify).....		Dairy.....(34)		Peppers (bell).....(57)			
		Dairy (young).....(35)		Potatoes (white).....(58)			
		Horses & ponies.....(36)		Potatoes (sweet).....(59)			
		Sheep.....(37)		Pumpkins.....(60)			
		Swine.....(38)		Spinach.....(61)			
		Bees (Hives).....(39)		Squash.....(62)			
		Ducks.....(40)		Tomatoes.....(63)			
		Fur animals.....(41)		Melons.....(64)			
		Goats.....(42)		Mixed & other vegetable.....(65)			
		Chickens (meat).....(43)		Other:			
		Chickens (layers).....(44)		(specify):.....			
		Turkeys.....(45)					
		Other:					
		(specify).....					
				F. AQUACULTURE	Acres		
				Fresh water, food fish or plants for harvest or sale.....(66)			
				Other:			
				(specify).....			

B. FRUIT CROPS (Bearing Acres)	Acres	H. LAND IN FEDERAL GOVERNMENT PROGRAM	I. RENEWABLE ENERGY	Acres	J. NJ FOREST STEWARDSHIP	Acres
Irrigated Acres.....(81)		Name of Program.....	Solar.....(71)		Forested Woodland/Wetland.....(74)	
Apples.....(22)		Program Number.....	Wind.....(72)			
Blueberries.....(23)		Acres in Program.....(70)	Biomass.....(73)			
Cranberries.....(24)						
Grapes.....(25)						
Nectarines.....(86)						
Peaches.....(26)						
Strawberries.....(27)						
Other fruit crops: (specify).....						
Non-bearing fruit: (specify).....						

SECTION 4 – SIGNATURE & VERIFICATION OF OWNER(S)

The undersigned declares that this form, including any accompanying schedules and statements, has been examined by him (her) and to the best of his (her) knowledge and belief is true and correct. Filing of this form is also a representation that the land will continue to be devoted to an agricultural or horticultural use during the year for which farmland assessment is requested. Under N.J.S.A. 54:4-23.14(b), this certification shall be considered as if made under oath and is subject to the same penalties as provided by law for perjury. In addition, for a gross and intentional misrepresentation on this form, the landowner shall be subject to a civil penalty of up to \$5,000.

Signature of Individual Owner or Co-owner _____ Date _____ **OR** Signature of Corporate Officer _____ Date _____ Corporate Name _____

This application is:	<input checked="" type="checkbox"/> APPROVED	RESERVED FOR OFFICIAL USE	
	<input type="checkbox"/> DISAPPROVED	1/5/23	ASSESSOR 
		Date	

FILE THIS FA-1 APPLICATION IN DUPLICATE AND ONE SUPPLEMENTAL FA-1 GROSS SALES FORM WITH YOUR ASSESSOR. TAXPAYER SHOULD RETAIN COPIES FOR OWN RECORDS. (IF ENTRY MADE IN SECTION 2, LINE 4, FILE A COPY OF FA-1, AWD-1 FORM, AND AN ACTIVITY MAP WITH THE NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION.)

SUPPLEMENTAL FARMLAND ASSESSMENT GROSS SALES FORM

N.J.S.A. 54:4-23.1 ; N.J.A.C. 18:15-1.1 et seq.

FILE ANNUALLY BY AUGUST 1 OF THE PRE-TAX YEAR

If the application includes a Form WD-1, check one: Woodland Management Plan
 NJ Forest Stewardship Plan (Effective 2019)

SECTION I: IDENTIFICATION

COUNTY: <u>Mercer</u>	MUNICIPALITY: <u>Hamilton Twp</u>
OWNER'S NAME: <u>BRITTAIN PETER & CAREY</u>	TAX YEAR: <u>2023</u>
PROPERTY LOCATION: <u>EXTON-ALLENTOWN RD</u>	BLOCK(s), LOT(s): <u>2739-14-QFARM</u>
TELEPHONE: <u>609-208-2199</u>	EMAIL: <u>Carey@CoastId.com</u>

SECTION II: GROSS SALES

Field Crops	Acres	Ornamental Crops	Acres	Aquaculture	Acres	Income Acres
_____	_____	_____	_____	_____	_____	53.58
_____	_____	_____	_____	_____	_____	Non-Income Acres
_____	_____	_____	_____	_____	_____	+ 1.42
Fruit Crops	Acres	Livestock	Acres	Woodland Products	Acres	Total Acres Under Farmland
_____	_____	_____	_____	<u>Ornamental Trees</u>	<u>45.02</u>	= 53.00
_____	_____	_____	_____	_____	_____	FINAL INCOME
Vegetable Crops	Acres	Equine	Acres	Conservation Program Acres	_____	Total income received and anticipated for the current year. Must be sufficient to meet the minimum gross sales criteria, if applicable, to show active devotion to agriculture/horticultural use.
_____	_____	_____	_____	_____	_____	\$
_____	_____	_____	_____	_____	_____	
Imputed Grazing Value Acres _____						

SECTION III: SIGNATURE AND VERIFICATION OF OWNER(S)

The undersigned declares that this form, including any accompanying schedules and statements, has been examined by him (her) and to the best of his (her) knowledge and belief is true and correct. Filing of this form is also a representation that the land will continue to be devoted to an agricultural or horticultural use during the year for which farmland assessment is requested. Under N.J.S.A. 54:4-23.14(b), this certification shall be considered as if made under oath and is subject to the same penalties as provided by law for perjury. In addition, for a gross and intentional misrepresentation on this form, the landowner shall be subject to a civil penalty of up to \$5,000.

Carey Peter 6/16/2022
 Signature of Individual Owner or Co-Owner/Corporate Officer Date

 Title of Corporate Officer Corporate Name

THIS MUST BE FILED WITH THE FARMLAND ASSESSMENT APPLICATION (FA-1) AND, WHERE APPLICABLE, WOODLAND DATA FORM (WD-1) AND ACTIVITY MAP

Reserved For Office Use

This Application is: Approved
 Disapproved

Date: 11/5/23
 Assessor: [Signature]

GENERAL INSTRUCTIONS

APPLICATION: Only one Supplemental Farmland Assessment Gross Sales Form, FA-1 G.S., should be filed annually with the municipal assessor on or before August 1 of the year immediately preceding the tax year for which "farmland assessment" is requested. You are reporting the current year's gross sales for qualification in the next tax year. Late or incomplete applications will be denied. At the assessor's request, applicants must provide proofs of eligibility as to ownership, land area, agricultural or horticultural activity and gross sales. Lands in Farmland Preservation Programs must still meet the criteria and filing prerequisites of the Farmland Assessment Act to receive preferential reduced assessment.

Filing Extension-Assessors may grant an extension of time for filing an FA-1 application and FA-1 Gross Sales form, but no later than September 1 of the year immediately preceding the tax year for which "farmland assessment" is requested, if the assessor is satisfied that failure to file by August 1 was due to (1) the owner's illness and a physician's certificate stating that the owner was physically incapacitated and unable to file by August 1 and the FA-1 & FA-1 G.S. forms are filed with the assessor ; or(2) the death of the owner or the owner's immediate family member and a certified copy of the death certificate and the FA -1 & FA-1 G.S. forms are filed with the assessor by the owner or by the executor/executrix of the owner's estate. "Immediate family member" means an owner's spouse, child, parent or sibling residing in the same household. (See N.J.S.A. 54:4-23.6d.)

QUALIFICATIONS: Farmland assessment means valuation, assessment and taxation under the Farmland Assessment Act. Land may be eligible for farmland assessment when:

- a. The land has been actively devoted to agricultural or horticultural use for at least 2 successive years immediately preceding the tax year for which "farmland assessment" is requested. (See N.J.S.A. 54:4-23.6.)
- b. The land area actively devoted to agricultural or horticultural use is not less than five acres, exclusive of the land upon which the farmhouse is located and such additional land actually used in connection with the farmhouse.
- c. Gross sales, fees or payments (See N.J.S.A. 54:4-23.5.)
 1. **Agricultural/Horticultural (Non Woodland):** Gross sales, fees or payments average at least \$1,000 annually on the first five acres and average at least \$5 for each additional acre of actively devoted land plus 50 cents per acre of appurtenant woodland or non-wooded wetlands. Required Income is calculated on the total number of acres under Farmland Assessment on the property, whether income producing or not. (See N.J.S.A. 54:4-23.5.)
 2. **Woodland Management Plan:** If the land is approved under a Woodland Management Plan the gross sales, fees, or payment average \$500 annually on the first five acres and average at least 50 cents for each additional acre of woodland or non-wooded wetlands.
 3. **NJ Forest Stewardship Plan:** Defined under N.J.A.C. 7:3-5, does not have a minimum gross sales requirement to show active devotion, **but** the land must be actively managed in compliance with the approved plan.
- d. Application by the owner is filed on or before August 1 of the year immediately preceding the tax year. (See N.J.S.A. 54-23.6.)
- e. Farmland management units less than 7 acres are required to submit a descriptive narrative of agricultural/horticultural uses, a sketch of their location, and number of acres devoted.

SECTION I: IDENTIFICATION

Owners' Name List every individual, partnership or corporation having an ownership interest in the land.

Block(s) & Lot(s) List block(s) and lot(s) comprising a farm of contiguous land from your tax bill; official tax map; or page(s) and line(s) from the current year's tax list.

SECTION II: GROSS SALES

List products produced and the respective acreage under the appropriate headings. The acreages listed for the products in this section should match the values entered in Section 2 of the FA-1 application. If necessary, attach a separate sheet with the break down of additional products produced on the farm and the acreage devoted to those products.

Equine: Includes acres dedicated to the breeding, raising, boarding, training, or rehabilitating of horses and ponies, as well as structures like stables used for the equine activities.

Imputed Grazing Value Acres: Includes acres that are permanent pasture and/or cropland pastured, if the imputed grazing value is being claimed as income for livestock grazing on those acres.

Livestock: Includes permanent pasture and cropland pasture used for grazing livestock if not claiming the imputed grazing value for those acres, as well as land under stables, pens, coops, or other structures used to house livestock.

Woodland Products: Includes any tree and forest products produced from woodland under an approved Woodland Management Plan or **NJ Forest Stewardship Plan** if income is generated. Account for all woodland acres subject to a Woodland Management Plan even when only a particular stand within the parcel is being harvested for income that year. This value should equal the number of acres entered on Line 4 of Section 2 of the FA-1 application.

Total Non-Income Acres: Includes lands under streams or ponds when those bodies of water are not being used for aquaculture production, irrigation ditches, land under solar panels or other renewable energy generation systems, appurtenant woodlands, non-wooded wetlands, and permanent pasture and cropland pastured when used as a break or buffer but not when being grazed by livestock or under a federal soil conservation program. It should also include land under farm buildings, such as sheds, barns, silos, etc., which are used for the storage of farm equipment and harvested products as well as woodlands managed under a **NJ Forest Stewardship Plan** from which no tree or forest products are being harvested for income that year.

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Form FA-1 GS Revised: Mar. 2018



Invoice

Date	Invoice #
11/22/2021	32343

TEL 609-208-2199 FAX 609-208-2177
 PO BOX 335
 ALLENTOWN, NJ 08501

Bill To
Seabreeze @ Lacey Toll Brothers 949 Lacey Road Ste C2-1A Forked River, NJ 08731

P.O. No.
Street Tree Replace...

Item	Description	Qty	Rate	Amount
Toll Brothers @ ...	Street Tree Replacements Fall 2021		0.00	0.00
Toll Brothers @ ...	216 Ambermist...Red Maple	1	255.00	255.00
Toll Brothers @ ...	261 Ambermist...Plane Tree	1	235.00	235.00
Toll Brothers @ ...	88 Arborridge...Zelkova	1	285.00	285.00
Toll Brothers @ ...	30 Dunberry...Linden	1	255.00	255.00
Toll Brothers @ ...	3 Holbrooke...Pear	1	235.00	235.00
Toll Brothers @ ...	55 Arborridge...Red Oak	1	285.00	285.00
Toll Brothers @ ...	Remove Dead Tree	6	10.00	60.00
Tax Sales	Sales tax landscape labor	1	17.00	17.00
Total				\$1,627.00
Payments/Credits				\$0.00
Balance Due				\$1,627.00



Invoice

Date	Invoice #
11/28/2018	28579

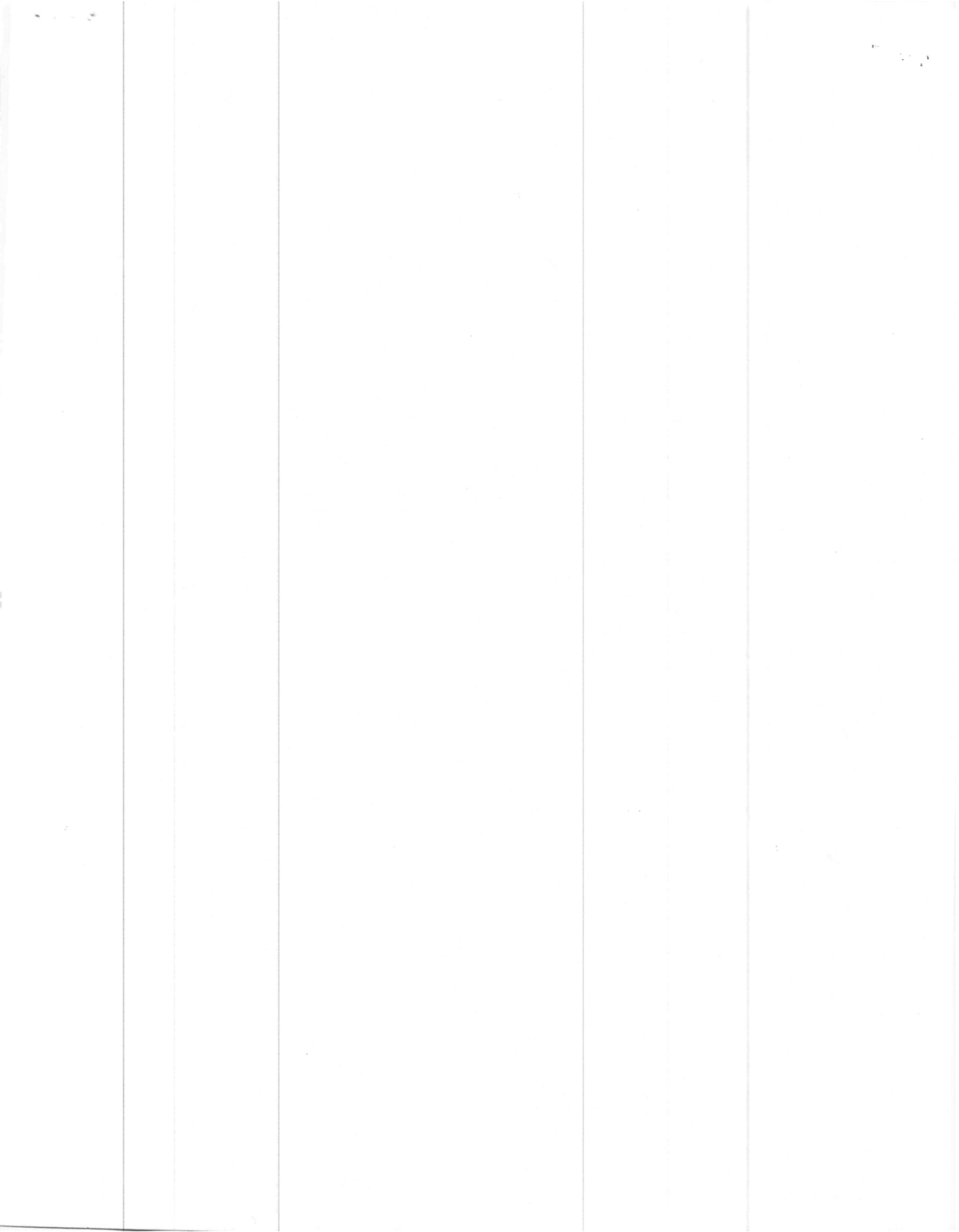
TEL 609-208-2199 FAX 609-208-2177
 PO BOX 335
 ALLENTOWN, NJ 08501

Bill To
Seabreeze @ Lacey Toll Brothers 949 Lacey Road Ste C2-1A Forked River, NJ 08731

P.O. No.
Retainage

Item	Description	Qty	Rate	Amount
Toll Brothers @ ...	Phase 1 Street Trees		0.00	0.00
Toll Brothers @ ...	GT-Honey Locust	6	235.00	1,410.00
Toll Brothers @ ...	TC-Little Leaf Linden	6	255.00	1,530.00
Toll Brothers @ ...	SJ-Sophora Japonica	4	310.00	1,240.00
Tax Sales	Sales tax landscape labor	1	94.25	94.25
Toll Brothers @ ...	Phase 2A Street Trees		0.00	0.00
Toll Brothers @ ...	FP-Patmore Ash	8	255.00	2,040.00
Tax Sales	Sales tax landscape labor	1	24.50	24.50
Vendor	Vendor to Pay sales tax per agreement @ 15%		14.50	14.50
adjustment	labor fee		-14.50	-14.50
	adjustment		6.625%	0.00
	Sales Tax			

Total	\$6,338.75
Payments/Credits	-\$2,889.87
Balance Due	\$3,448.88





Invoice

Date	Invoice #
11/22/2021	32346

TEL 609-208-2199 FAX 609-208-2177
PO BOX 335
ALLENTOWN, NJ 08501

Bill To
Sea Breeze at Lacey 100 Willow Brook Road, Suite 200 Freehold, NJ 07728

P.O. No.
TBI 360

Item	Description	Qty	Rate	Amount
Toll Brothers @ ...	TBI 360 Install (6) missing Arbs Purchased on Exhibit B6 Coast did not previously received Supply Pro Order	6	150.00	900.00
Vendor	Vendor to Pay sales tax per agreement @ 10% labor fee		15.00	15.00
adjustment	adjustment		-15.00	-15.00
Total				\$900.00
Payments/Credits				\$0.00
Balance Due				\$900.00

BLOCK 2739 LOT: 14 QUAL ADDL LOTS
 PROP LOC EXTON-ALBERTSON-R8
 TAX MAP 121C
 ZONING
 PROP CLS 38
 LAND DES 54.887 AC
 BLDG DES

SKIBA STANLEY L JR, SKIBA JOSEPH M
 25 MYCKOFFHILL-APPLEGARTH
 HIGHTSTOWN, NJ
 CURRENT ASSESSED - LAND VAL 29,650
 IMPR VAL
 TOTAL VAL 29,650

SALE HIST
 SALE DATE 06-03-96
 SALE PRICE 255,000
 VAL .IVAL
 R126

- 50 00 NEIGHBORHOOD
 - 01 TYPICAL
 - 02 INTERIOR
 - 03 SUPERIOR
 - 04 STABLE
 - 05 DECLINING
 - 06 IMPROVING
 - 07 RURAL
 - 08 CROSSROADS
 - 09 SUBURBAN
 - 10 URBAN
 - 11 SUBDIVISION
 - 12 MIXED
- 51 00 VIEW
 - 01 TYPICAL
 - 02 DETRIMENTAL
 - 03 ENHANCING
 - 04 LAKE VIEW
 - 05 UTILITIES
- 52 00 UTILITIES
 - 01 ALL
 - 02 ELECTRIC
 - 03 GAS
 - 04 WATER
 - 05 SEWER
 - 06 WELL
 - 07 SEPTIC
 - 08 SUMP/SEW CONN
 - 09 SUMP/NO SEW
 - 10 NONE
- 53 00 INFO BY
 - 01 OWNER
 - 02 SPOUSE
 - 03 TENANT
 - 04 AGENT
 - 05 AT DOOR
 - 06 REFUSED
 - 07 ESTIMATED
- 54 00 ROAD
 - 01 PAVED
 - 02 GRAVEL
 - 03 DIRT
 - 04 PRIVATE
 - 05 NONE
- 55 00 CURBING
 - 01 YES
 - 02 NO
 - 03 INDUS LOC
 - 04 NO GARAGE
 - 05 NO POWER LINES
 - 06 NO STR LIGHT
 - 07 SUPERIOR SERV
 - 08 SUPERIOR SERV
 - 09 HEAVY TRAFFIC
 - 10 LIGHT TRAFFIC
 - 11 UNDERGRD UTIL
 - 12 FUNG OSOIL
 - 13 ECON OSOIL
- 56 00 SIDEWALK
 - 01 YES
 - 02 NO
- 57 00 MARKET INFLUENCE
 - 01 OVERBUILT
 - 02 UNDERIMPROVED
 - 03 POOR LAYOUT
 - 04 NEET CONN
 - 05 TRANSITIONAL
 - 06 NO PARKING
 - 07 POOR STYLE
 - 08 NO GARAGE
 - 09 INDUS LOC
 - 10 POWER LINES
 - 11 NO STR LIGHT
 - 12 SUPERIOR SERV
 - 13 SUPERIOR SERV
 - 14 HEAVY TRAFFIC
 - 15 LIGHT TRAFFIC
 - 16 UNDERGRD UTIL
 - 17 FUNG OSOIL
 - 18 ECON OSOIL
- 58 00 LAND COND
 - 01 NO RIGHT TO BLDG
 - 02 ALLEY SHAPE
 - 03 FLAG LOT
 - 04 SEVERE EASEMENTS
 - 05 UNIMPAV ROAD
 - 06 SLOPE
 - 07 LAND LOCKED
 - 08 FLOOD PLAIN
 - 09 SHARED DRIVEWAY
 - 10 POOR LOCATION
 - 11 TOPOGRAPHY
 - 12 TRIANGLE
 - 13 IRREGULAR
 - 14
 - 15
 - 16
- 59 00 LAND INFLUENCE
 - 01 COMMERCIAL
 - 02 VIEW
 - 03 MISC

15 00 ACCESSORY & FARM BUILDINGS

CODE	SIZE/AREA	QUALITY FACTOR	NET CONDITION	FIELD PRICE
CODE LEGEND				
01=DET GARAGE	09=POOL VINYL		17=FRAM SHED	
02=DET CARPORT	10=POOL ASP GRND		18=POLE BARN	
03=SHED 1 STORY	11=C C PAVING		19=STABLE	
04=SHED 1.5 STY	12=ASPHALT PAVING		20=POULTRY SHED	
05=SHED 2 STORY	13=TENNIS COURT		21=SILO	
06=FIN SHED 1STY	14=BARN		22=SMALL SHED	
07=FIN SHED 1 SS	15=DARRY BARN		23=	
08=POOL QUINTE	16=BARN W/LOFT		24=	

70 00 LAND SCHEDULE (FRONT FOOT METHOD)

LAND CODE	TOTAL FRONT FOOTAGE	AVERAGE DEPTH	DEPTH TABLE	LAND RATE	LAND RATE	#82	#83	#84	#85
1									
2									
3									
4									

71 00 LAND SCHED (UNIT RATE METHOD)

LAND CODE	DEED	NUMBER OF UNITS	UNIT RATE	LAND RATE	LAND RATE	#82	#83	#84	#85
1									
2									
3									
4									

72 00 COMMENTS

3 B Farmer

80 00 WORK RECORD

MEMS	BY	DATE
1	TK	3/26/98
2	dv	4/29/98

81 00 FIELD CALLS

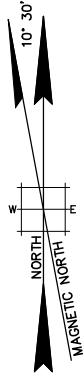
MEMS	BY	DATE
1	TK	3/26/98
2		
3		
4		

INSPECTION SIGNATURE

DATE

REVISIONS		
DATE	NAME	LIC. No.
12/2015	VINCENT J. RIGELON JR.	33111
11/2020	VINCENT J. RIGELON JR.	33111
03/2021	VINCENT J. RIGELON JR.	33111
03/2022	VINCENT J. RIGELON JR.	33111
04/2022	VINCENT J. RIGELON JR.	33111

LAWRENCE TOWNSHIP
MERCER COUNTY

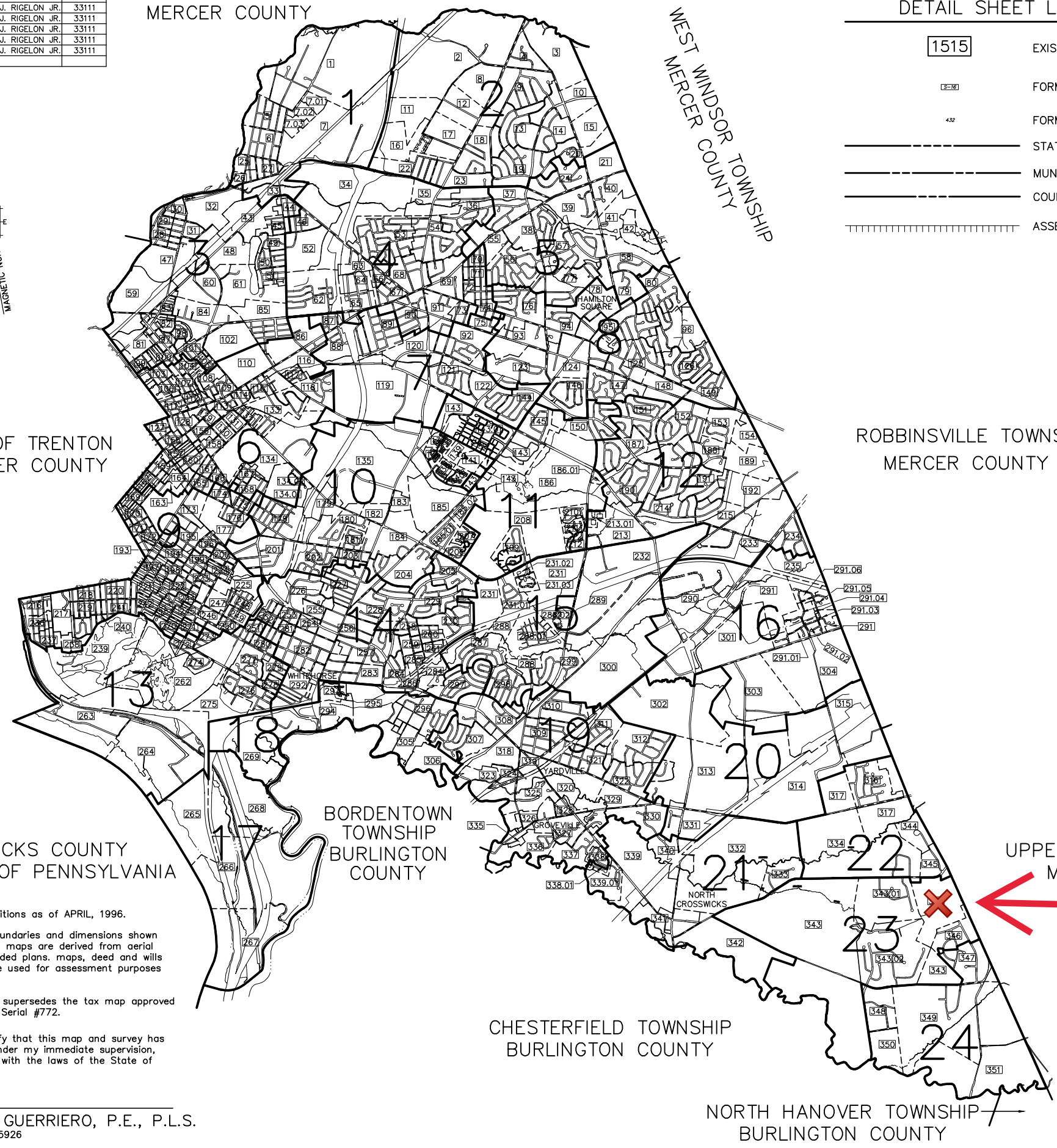


CITY OF TRENTON
MERCER COUNTY

BUCKS COUNTY
STATE OF PENNSYLVANIA

To show conditions as of APRIL, 1996.
The areas, boundaries and dimensions shown within the tax maps are derived from aerial surveys, recorded plans, maps, deed and wills and are to be used for assessment purposes only.
This tax map supersedes the tax map approved July 9, 1996, Serial #772.
I hereby certify that this map and survey has been made under my immediate supervision, and complies with the laws of the State of New Jersey.

MICHAEL GUERRIERO, P.E., P.L.S.
License No. 15926



DETAIL SHEET LEGEND

- 1515 EXISTING BLOCK NUMBER
- ~~1515~~ FORMER BLOCK NUMBER
- 432 FORMER LOT NUMBER
- STATE BOUNDARY
- MUNICIPAL BOUNDARY
- COUNTY BOUNDARY
- ===== ASSESSED AREA LIMIT LINE

KEY MAP INDEX LEGEND

- 23 KEY MAP NUMBER
- 291 DETAIL SHEET NUMBER
- STATE BOUNDARY
- MUNICIPAL BOUNDARY
- DETAIL SHEET LIMIT
- KEY MAP LIMIT LINE
- COUNTY BOUNDARY

KEY MAP LEGEND

- 38 DETAIL SHEET NUMBER
- 1501 BLOCK NUMBER
- SHEET LIMIT
- BLOCK LIMIT
- MUNICIPAL BOUNDARY
- ===== ASSESSED AREA LIMIT LINE

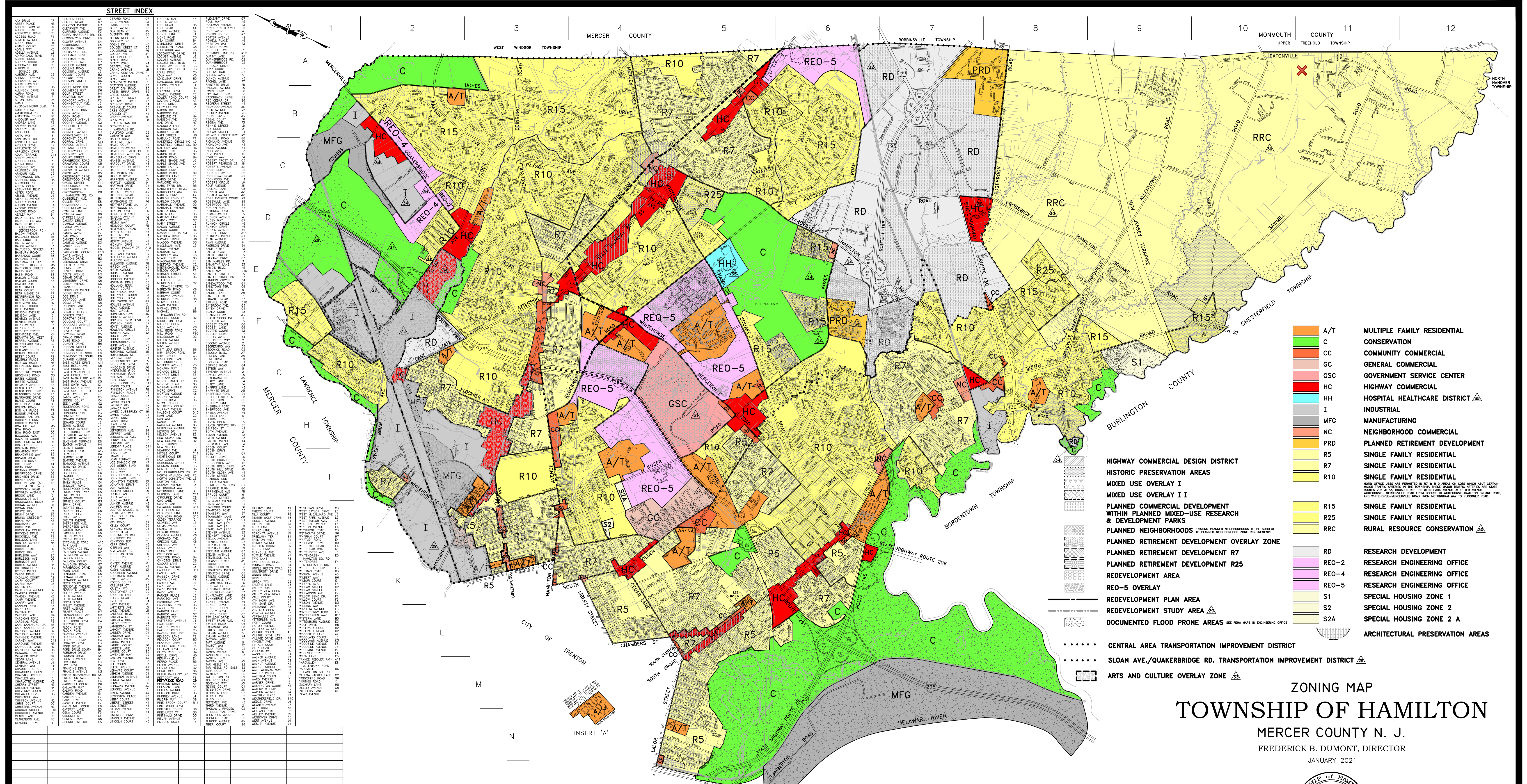
"I hereby certify that this map has been revised Under my direct supervision, and complies with the laws of the State of New Jersey."

VINCENT J. RIGELON JR., P.L.S.
NEW JERSEY PROFESSIONAL LAND SURVEYOR
LICENSE NO. 24GS03311100

DATE

NEW JERSEY DEPARTMENT OF THE TREASURY
DIVISION OF TAXATION
APPROVED AS A TAX MAP PURSUANT TO THE AUTHORITY OF N.J.S.A. 54:1-15 AND N.J.S.A. 54:50-1 FOR THE DIRECTOR, DIVISION OF TAXATION
SIGNED BY SUE DAVIDSON, CTA SUPERVISING FIELD REP
DATED AUGUST 14, 2014 SERIAL # 1043

TAX MAP
TOWNSHIP OF HAMILTON
MERCER COUNTY, NEW JERSEY
SCALE 1"= 2400' APRIL, 1996
MICHAEL GUERRIERO, P.L.S.
T & M ASSOCIATES
11 TINDALL ROAD, MIDDLETOWN TOWNSHIP
NEW JERSEY, 07748
"TO SHOW CONDITIONS AS OF JULY 14, 2014"



REVISION	DESCRIPTION	DATE	BY	TOWNSHIP PLANNER	TOWNSHIP ENGINEER
1	REVISED AS PER TOWNSHIP ORD. # 14-025; ADOPTED 05-06-2014	02-02-15	VMG		
2	REVISED AS PER TOWNSHIP ORD. # 11-030; ADOPTED 11-01-2011	11-1-11	CFK		
3	REVISED AS PER TOWNSHIP ORD. # 10-003; ADOPTED 04-21-2010	5-13-10	CFK		
4	REVISED AS PER TOWNSHIP ORD. # 09-012	7-7-09	JF		
5	REVISED AS PER TOWNSHIP ORD. # 08-007, 08-024, VARIOUS SUBDIVISIONS	10-6-08	TA		
6	REVISED AS PER TOWNSHIP ORD. # 05-025	12-15-05	TA		
7	REVISED AS PER TOWNSHIP ORD. # 04-004, 04-048, 04-060, 05-028	9-22-05	JF, TA		

FOR REVISIONS NO. 14 THRU 28 SEE SUPERCEDED ZONING MAP DATED DECEMBER 17, 1991, LAST REVISION DATED JANUARY 3, 2001

APPROVED BY COUNCIL OF THE TOWNSHIP OF HAMILTON,
 THE COUNTY OF MERCER AND THE STATE OF NEW JERSEY,
 ON SEPTEMBER 9, 2004 BY ORDINANCE NO. 04-032.

R. J. [Signature] *J. M. [Signature]* *E. S. [Signature]*
 TOWNSHIP ENGINEER TOWNSHIP ENGINEER TOWNSHIP ENGINEER

ZONING INFORMATION ON THIS PLAN TAKEN FROM ZONING MAP APPROVED BY HAMILTON TOWNSHIP COUNCIL, DATED DECEMBER 17, 1991 BY ORDINANCE NO. 91-101 & LAST REVISION NO. 28 DATED JANUARY 3, 2001 BY ORDINANCE NO. 00-057.

ZONING MAP

TOWNSHIP OF HAMILTON

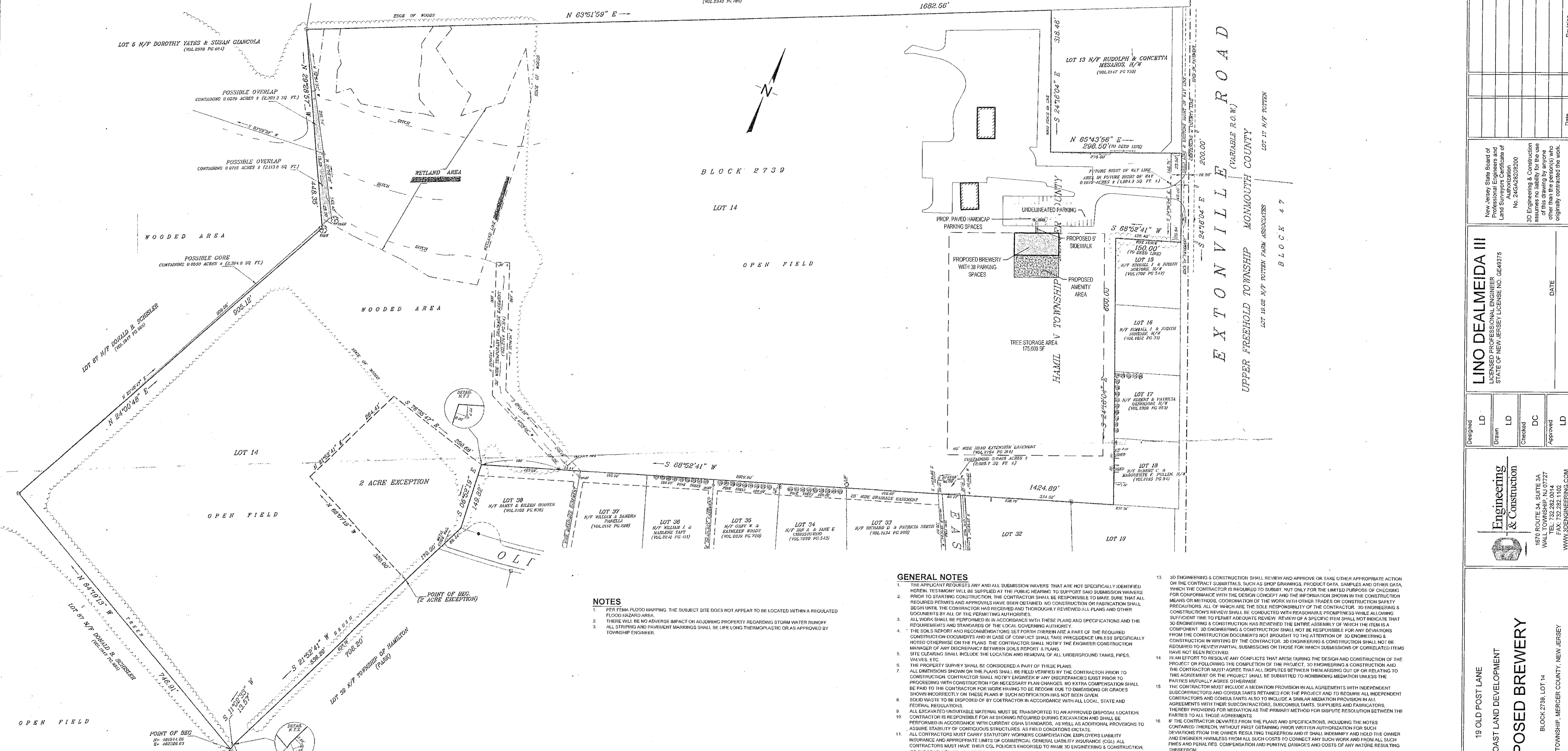
MERCER COUNTY N. J.

FREDERICK B. DUMONT, DIRECTOR
 JANUARY 2011



JEFFREY S. MARTIN, MAYOR

LOT 9 N/F STERLING E. SLIVONIK & VICTORIA SLIVONIK, H/W
(VOL. 2343 PG. 100)



BLOCK 2730

LOT 14

OPEN FIELD

LOT 13 N/F RUDOLPH & CONCETTA MESAROS, H/W
(VOL. 2117 PG. 700)

EXTONVILLE ROAD (VARIABLE R.O.W.)

UPPER FREEHOLD TOWNSHIP, MONMOUTH COUNTY

LOT 18 02 N/F RUTEN PARK ASSOCIATES

BLOCK 47

PROPOSED BREWERY WITH 38 PARKING SPACES

UNDELINEATED PARKING

PROPOSED 5' SIDEWALK

PROPOSED AMENITY AREA

TREE STORAGE AREA 175,000 SF

LOT 15 N/F SMALL 1 & JUDITH JOSEPH, H/W
(VOL. 1702 PG. 517)

LOT 16 N/F ROBERT J. & JUDITH JOSEPH, H/W
(VOL. 1822 PG. 33)

LOT 17 N/F ROBERT & PATRICIA JOSEPH, H/W
(VOL. 1822 PG. 33)

LOT 18 N/F RICHARD C. & MASOURETTE F. POLLEN, H/W
(VOL. 1822 PG. 33)

LOT 19

LOT 32

LOT 33

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

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LOT 43

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LOT 93

LOT 94

LOT 95

NOTES

- 1. PER FEMA FLOOD MAPPING, THE SUBJECT SITE DOES NOT APPEAR TO BE LOCATED WITHIN A REGULATED FLOOD HAZARD AREA.
2. THERE WILL BE NO ADVERSE IMPACT ON ADJOINING PROPERTY REGARDING STORM WATER RUNOFF.
3. ALL STRIPING AND PAVEMENT MARKINGS SHALL BE LIFE LONG THERMOPLASTIC OR AS APPROVED BY TOWNSHIP ENGINEER.

GENERAL NOTES

- 1. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
4. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
5. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
6. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
7. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADINGS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
9. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR AN SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
10. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME 3D ENGINEERING & CONSTRUCTION, ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH 3D ENGINEERING & CONSTRUCTION WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS 3D ENGINEERING & CONSTRUCTION AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
11. NEITHER THE PROFESSIONAL ACTIVITIES OF 3D ENGINEERING & CONSTRUCTION NOR THE PRESENCE OF 3D ENGINEERING & CONSTRUCTION OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE AND PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. 3D ENGINEERING & CONSTRUCTION AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. 3D ENGINEERING & CONSTRUCTION SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
12. 3D ENGINEERING & CONSTRUCTION SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACT SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHILE THE CONTRACTOR IS REQUIRED TO SUBMIT, NOT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 3D ENGINEERING & CONSTRUCTION'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT 3D ENGINEERING & CONSTRUCTION HAS RECEIVED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. 3D ENGINEERING & CONSTRUCTION SHALL NOT BE RESPONSIBLE FOR ANY COMPONENT FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF 3D ENGINEERING & CONSTRUCTION IN WRITING BY THE CONTRACTOR. 3D ENGINEERING & CONSTRUCTION SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
13. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, 3D ENGINEERING & CONSTRUCTION AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
14. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS. THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THESE AGREEMENTS.
15. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER, RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
16. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
17. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
18. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
19. CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDINGS AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS IS DEPICTED HEREON AND MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH IBC 117 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

Table with 4 columns: ZONE REQUIREMENT, ZONE RRC (1), EXISTING, PROPOSED. Rows include Minimum Lot Area, Minimum Lot Width, Minimum Lot Frontage, Minimum Lot Depth, Minimum Front Yard Setback, Minimum Side Yard Setback (Principal), Minimum Side Yard Setback (Accessory), Minimum Rear Yard Setback (Principal), Minimum Rear Yard Setback (Accessory), Minimum Distance to Other Building, Maximum Building Coverage, Maximum Building Height, Maximum RRC Density.

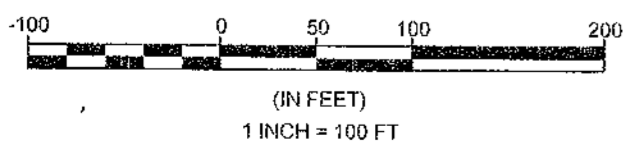


Table with columns: No., Date, Revision. Contains one entry for No. 24624232300.

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of Registration No. 24624232300. 3D Engineering & Construction assumes no liability for the use of this drawing by anyone other than the person or organization originally contracted to do the work.

LINO DEALMEIDA III LICENSED PROFESSIONAL ENGINEER STATE OF NEW JERSEY LICENSE NO. GE46375. 1670 ROUTE 34, SUITE 3A WALL TOWNSHIP, NJ 07727 TEL: 732.262.3014 FAX: 732.262.3014 WWW.3DENGINEERING.COM

Engineering & Construction logo and contact information.

PROPOSED BREWERY COAST LAND DEVELOPMENT 19 OLD POST LANE BLOCK 2730, LOT 14 HAMILTON TOWNSHIP, MERCER COUNTY, NEW JERSEY




Scale: As Noted Date: 2022.03.18 Drawing Name: OVERALL PLOT PLAN

TOWNSHIP APPROVAL stamp with signatures of Lino Dealmeida III (Township Engineer) and Robert C. Pappalardo (Township Planner), dated 3/23/22. Includes a circular stamp with '1' and '3'.

Untitled Map

Write a description for your map.

Legend

-  70 Extonville Rd
-  Feature 1
-  Herniated Lumbar Treatment NJ

Barn and Garage

Nursery Stock

Brewery and Hop Yard

Nursery Stock

Nursery Stock

Barley





State of New Jersey

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Mail Code 401-02B
Division of Water Quality
Bureau of Ground Water, Residuals, and Permit Administration
P.O. Box 420 – 401 E State St
Trenton, NJ 08625-0420
Phone: (609) 984-4428
www.state.nj.us/dep/dwq/

SHAWN M. LATOURETTE
Commissioner

Delivered via email to peter@coastLD.com

May 15, 2023

Peter Brittain
Bent Iron Brewing, LLC.
P.O. Box 222
Allentown, NJ 08501

Re: Treatment Works Approval (TWA) No. 23-0201 / P.I. 1018128
Bent Iron Brewing
Hamilton Township, Mercer County

Dear Mr. Brittain:

There is enclosed a Treatment Works Approval (TWA) issued to you pursuant to Title 58 of the Revised Statutes of New Jersey and in consideration of your application received on 4/12/2023 signed by Peter Brittain, Owner, and Lino DeAlmedia III of 3D Engineering & Construction.

The approval determines the total primary activity volume in which the individual subsurface sewage disposal system shall be designed on. All other aspects of the individual subsurface sewage disposal system design, construction, operation and maintenance not specifically covered by this approval must conform to N.J.A.C. 7:9A-1 et seq.

This approval is valid for a period of two years from the issuance date, unless otherwise stated in the attached approval document. This approval shall expire unless building, installing or modifying of the treatment works has begun within the initial approval period. Treatment works approvals may be extended beyond the original two-year approval date, to a maximum period of five years from the original issuance date, in accordance with the terms and conditions contained in N.J.A.C. 7:14A-22.12. A time extension request must be received by the Department prior to the permit's expiration date. Time extension requests shall be submitted to:

Mail Code 401-02B
Bureau of Ground Water, Residuals, and Permit Administration
P.O. Box 420, 401 E. State Street
Trenton, New Jersey 08625

If you have any questions regarding the permit, please contact Steve Kumpf of my staff via email at Steve.Kumpf@dep.nj.gov.

Sincerely,

Brian Sage, Environmental Specialist 3
Bureau of Ground Water, Residuals, and Permit Administration
Division of Water Quality



State of New Jersey

DEPARTMENT OF AGRICULTURE
HEALTH / AGRICULTURE BUILDING
PO BOX 330
TRENTON NJ 08625-0330

PHILIP D. MURPHY
Governor
SHEILA Y. OLIVER
Lt. Governor

DOUGLAS H. FISHER
Secretary

October 6th, 2022

CERTIFIED MAILER/RRR

Peter C Brittain
Bent Iron Brewing Company
PO Box 222
Allentown, NJ 08501

**RE: Nutrient Management Plan Approval for Land Application of Brewery Wash Water,
70 Extonville Road Hamilton, NJ 08620, Mercer County Block 2739, Lot 14**

Dear Mr. Brittain,

A conservation professional with the New Jersey Department of Agriculture has reviewed and approved your Nutrient Management Plan (NMP) for the on-farm utilization of brewery wash water generated from your farm's brewery operation.

Be advised, this plan expires October 1, 2026. This plan should be reviewed annually and revised if new soil tests are collected, the brewery wash water analysis changes, or if there is a change in residual nitrogen calculations.

To be in compliance with your NMP you must adhere to the following:

- Do not land apply brewery wash water within 100 ft of the pond located near Fields 1 & 2 and any other mapped waters of the State located on the farm. See Map #1 on page 7 of the NMP for illustrated setbacks from the pond.
- If vegetative death is observed in Fields 1,2, and 3 as a direct result of the application of brewery wash water to those fields, a new analysis of the brewery wash water shall be completed and may require a revision to the NMP.
- The NMP outlines the maximum annual allowable P2O5 that can be applied to each field based on the P-Site Index. In accordance with the NMP, the maximum allowable rate per

application of brewery wash water is 4,100 gallons for each field. Do not exceed 20,286 gal/acre per year of brewery wash water application to Field 1, 18,571 gal per acre per year of brewery wash water application to Field 2 and 15,428 gal per acre per year of brewery wash water application to Field 3.

- If the application of brewery wash water to Fields 1, 2 or 3 causes soil erosion and/or gully formation, then a revision of the NMP and the maximum allowable application rate per application will need to occur.
- Soil tests should be performed on Fields 1, 2 and 3 every three years. If these tests indicate that the soil is negatively impacted as a direct result of the land application of brewery wash water to these fields then a revision of the NMP must occur to address these changes.
- Records must be kept while implementing this NMP as detailed on NMP page 4.

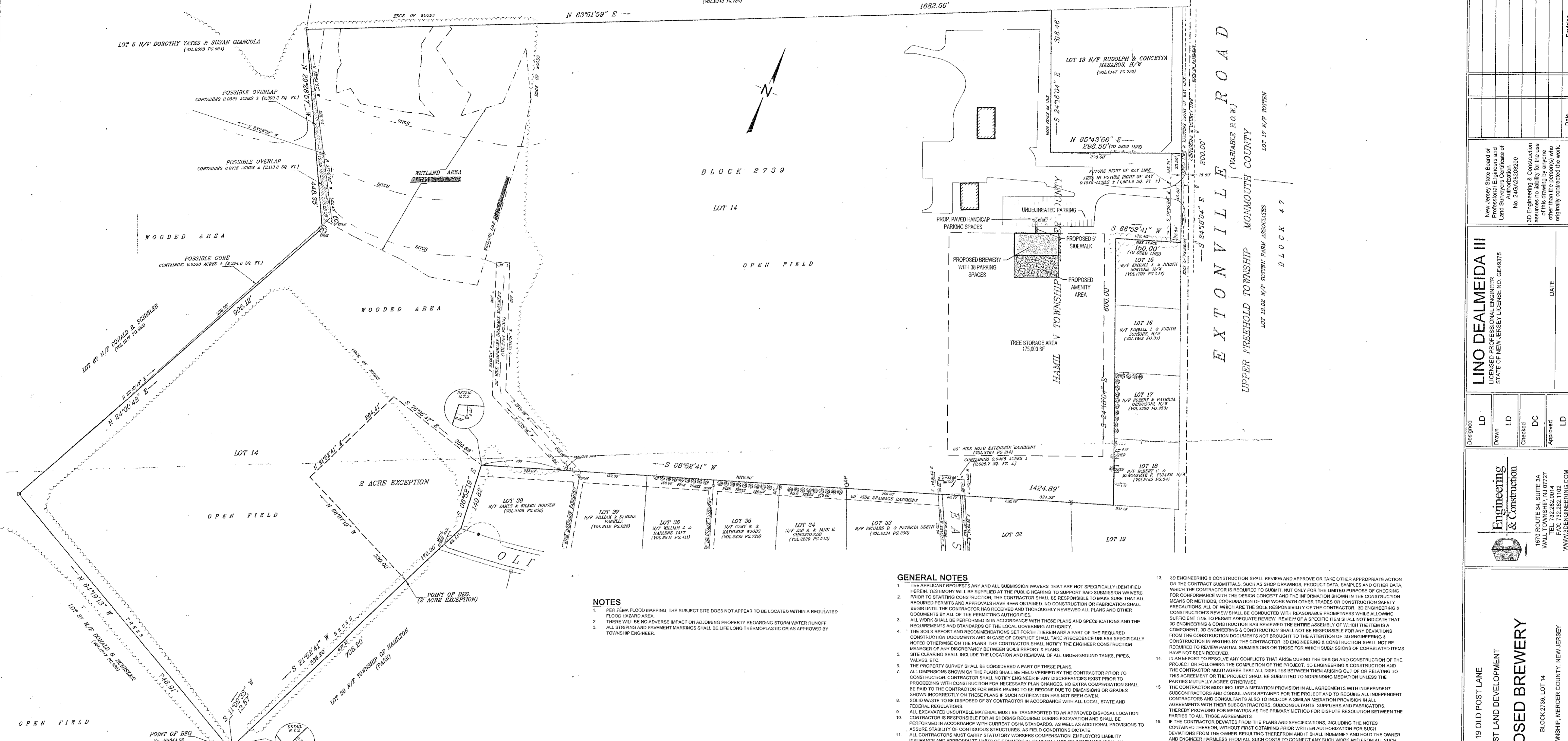
Thank you for your assistance in this process

Sincerely,



Kelly Steimle
Agricultural Resource Specialist I
Division of Agricultural and Natural Resources

LOT 9 N/F STERLING E. SLIVONIK & VICTORIA SLIVONIK, H/W
(VOL.2342 PG.100)



BLOCK 2730

LOT 14

OPEN FIELD

WOODED AREA

WOODED AREA

OPEN FIELD

OPEN FIELD

NOTES

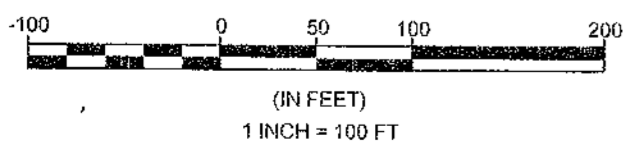
- PER FEMA FLOOD MAPPING, THE SUBJECT SITE DOES NOT APPEAR TO BE LOCATED WITHIN A REGULATED FLOOD HAZARD AREA.
- THERE WILL BE NO ADVERSE IMPACT ON ADJOINING PROPERTY REGARDING STORM WATER RUNOFF.
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE LIFE LONG THERMOPLASTIC OR AS APPROVED BY TOWNSHIP ENGINEER.

GENERAL NOTES

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
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- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADINGS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR AN SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME 3D ENGINEERING & CONSTRUCTION, ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH 3D ENGINEERING & CONSTRUCTION WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS 3D ENGINEERING & CONSTRUCTION AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF 3D ENGINEERING & CONSTRUCTION NOR THE PRESENCE OF 3D ENGINEERING & CONSTRUCTION OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE AND PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. 3D ENGINEERING & CONSTRUCTION AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. 3D ENGINEERING & CONSTRUCTION SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- 3D ENGINEERING & CONSTRUCTION SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACT SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHILE THE CONTRACTOR IS REQUIRED TO SUBMIT. NOT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 3D ENGINEERING & CONSTRUCTION'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT 3D ENGINEERING & CONSTRUCTION HAS RECEIVED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. 3D ENGINEERING & CONSTRUCTION SHALL NOT BE RESPONSIBLE FOR ANY DOCUMENTS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF 3D ENGINEERING & CONSTRUCTION IN WRITING BY THE CONTRACTOR. 3D ENGINEERING & CONSTRUCTION SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, 3D ENGINEERING & CONSTRUCTION AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THESE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER, RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS IS DEPICTED HEREON AND MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH IBC 5-13-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

ZONE REQUIREMENT	ZONE RRC (1)	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SF	2,373,077 SF	2,373,077 SF
MINIMUM LOT WIDTH	150 FT	191 FT	191 FT
MINIMUM LOT FRONTAGE	150 FT	200 FT	200 FT
MINIMUM LOT DEPTH	200 FT	1940 FT	1940 FT
MINIMUM FRONT YARD SETBACK	50 FT	456 FT	456 FT
MINIMUM SIDE YARD SETBACK (PRINCIPAL)	30 FT	174 FT	174 FT
MINIMUM SIDE YARD SETBACK (ACCESSORY)	20 FT	N/A	N/A
MINIMUM REAR YARD SETBACK (PRINCIPAL)	50 FT	1,438 FT	1,438 FT
MINIMUM REAR YARD SETBACK (ACCESSORY)	20 FT	N/A	N/A
MINIMUM DISTANCE TO OTHER BUILDING	20 FT	95.6 FT	95.6 FT
MAXIMUM BUILDING COVERAGE	12%	0.2%	0.4%
MAXIMUM BUILDING HEIGHT	35 FT / 2.5 STOREYS	<35 FT	23 FT
MAXIMUM RRC DENSITY	0.107	N/A	N/A

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMING (V): VARIANCE
(1) THE BULK STANDARD FOR THE RRC ZONE ABOVE ARE SPECIFIC TO DETACHED DWELLINGS.



Date	Revision	By

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of No. 246242323200
3D Engineering & Construction assumes no liability for the use of this drawing by anyone other than the person or entity originally contracted to the work.

LINO DEALMEIDA III
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY LICENSE NO. GE46375

Designed	Drawn	Checked	Approved
LD	LD	DC	LD

Engineering & Construction
1670 ROUTE 34, SUITE 3A
WALL TOWNSHIP, NJ 07727
TEL: 732.262.2014
FAX: 732.262.2014
WWW.3DENGINEERING.COM

19 OLD POST LANE
COAST LAND DEVELOPMENT
PROPOSED BREWERY
BLOCK 2730, LOT 14
HAMILTON TOWNSHIP, MERCER COUNTY, NEW JERSEY

Scale: As Noted Date: 2022.03.18

Drawing Name: OVERALL PLOT PLAN

TOWNSHIP APPROVAL
APPROVED BY THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY

[Signature] 3/23/22
TOWNSHIP ENGINEER DATE

[Signature] 3/23/22
TOWNSHIP PLANNER DATE

1
Sheet No.
Total Sheets
3

1682.56'

BLOCK 2739

LOT 14

OPEN FIELD

APPROXIMATE
OF
GROWEL

GROWEL AREA

LOT 13 N/F RUDOLPH & CONCETTA
MESAROS, H/W
(VOL.2147 PG.739)

N 65°43'56" E
298.50' (TO DEED LINE)

WOOD FENCE ON LINE

APPROX. LIMIT OF 1.0 FC
ISOLUX LINE (TYP.)

FUTURE RIGHT OF WAY LINE
AREA IN FUTURE RIGHT OF WAY
0.1078 ACRES ± (4,684.9 SQ. FT. ±)

PROPOSED ADA
PARKING (3 TYP.)

PROP. ADA RAMP
WIDETECTABLE WARNING PAD

PROPOSED 5'
SIDEWALK

PROPOSED BREWERY
WITH 38 PARKING
SPACES

PROPOSED AMENITY
AREA

TREE STORAGE AREA
175,000 SF

LOT 15
N/F KIMBALL J. & JUDITH
SORTORE, H/W
(VOL.1702 PG.547)

LOT 16
N/F KIMBALL J. & JUDITH
SORTORE, H/W
(VOL.1852 PG.33)

LOT 17
N/F ROBERT & PATRICIA
CERVASONI, H/W
(VOL.2300 PG.853)

LOT 18
N/F ROBERT C. &
MARGUERITE F. PILLEN, H/W
(VOL.2165 PG.54)

60' WIDE ROAD EXTENSION EASEMENT
(VOL.2784 PG.314)

CONTAINING 0.0485 ACRES ±
(2,025.7 SQ. FT. ±)

1424.89'

HAMILTON TOWNSHIP

EDGE OF COUNTY

EDGE OF TOWNSHIP

EDGE OF PARISH

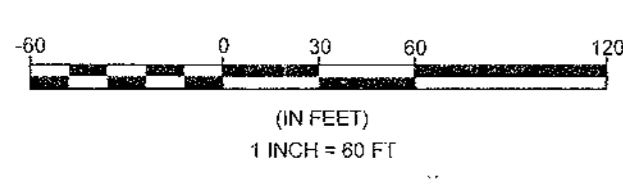
EXTONVILLE ROAD
(VARIABLE R.O.W.)

UPPER FREEHOLD TOWNSHIP MONMOUTH COUNTY

LOT 19.02 N/F TOTTEN FARM ASSOCIATES

BLOCK 47

LOT 17 N/F TOTTEN



LIGHTING LUMINAIRE SCHEDULE								
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION
⊙	3	AHSS	50	25	SINGLE	900	GE LIGHTING SOLUTION	EALS303_CA4H730 WITH ELS-EAL-RF4-8LCK

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT BALLAST OUTPUT LINE VOLTAGE DIRT DEPRECIATION AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

Revision	Date	By

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of Authorization
No. 24GA23020200
3D Engineering & Construction
I assume no liability for the use of this drawing by anyone other than the person(s) who originally contracted the work.

LINO DEALMEIDA III
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY LICENSE NO. 0649375
DATE

Designed	LD	Drawn	LD	Checked	DC	Approved	LD

Engineering & Construction
1670 ROUTE 34, SUITE 3A
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FAX: 732.282.1102
WWW.3DENGINEERING.COM

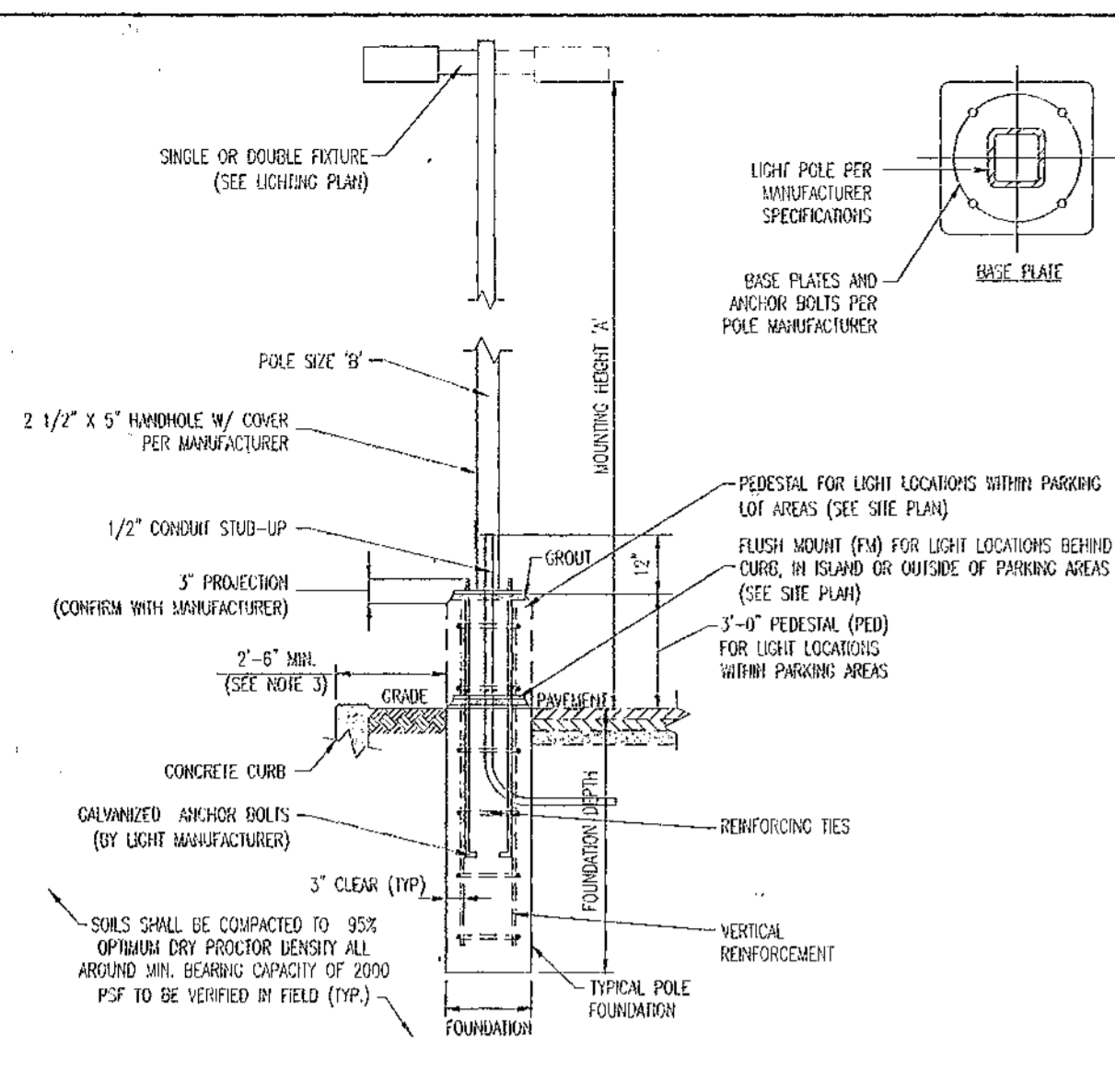
19 OLD POST LANE
COAST LAND DEVELOPMENT
PROPOSED BREWERY
BLOCK 2739, LOT 14
HAMILTON TOWNSHIP, MERCER COUNTY, NEW JERSEY

Scale	Date
As Noted	2022.03.18

Drawing Name
PLOT PLAN

TOWNSHIP APPROVAL
APPROVED BY THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY
John Brown 3/23/22
TOWNSHIP ENGINEER DATE
Robert C. Poynt 3/23/22
TOWNSHIP PLANNING DATE

2
Sheet No.
3
Total Sheets

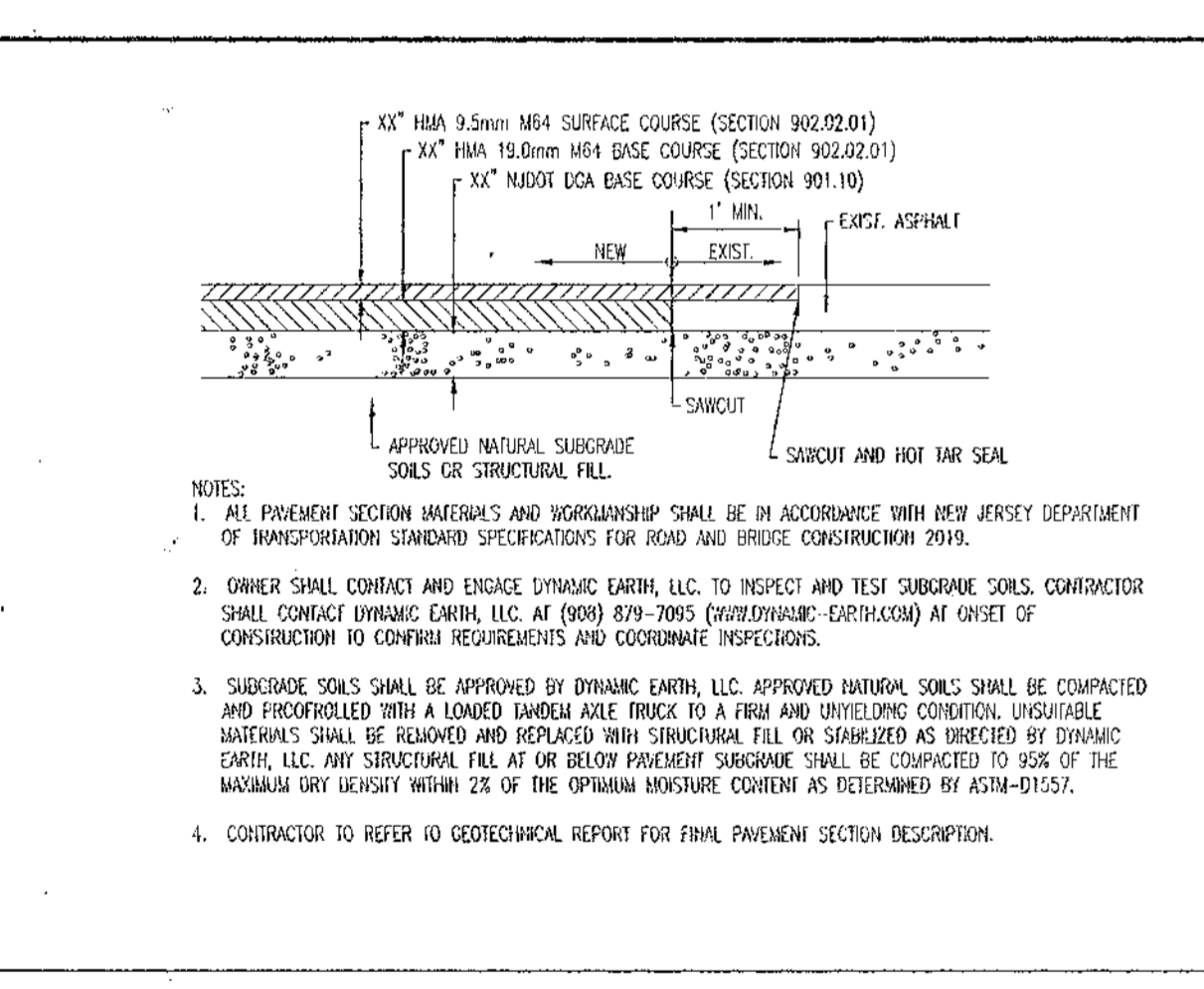


- NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FUTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 2. PROPOSED POLE IN CONJUNCTION WITH CONCRETE PEDESTAL TO EQUAL HOUSING HEIGHT 'A'. ACTUAL POLE HEIGHT TO BE ADVISED ACCORDINGLY.
 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADVISED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE (SEE ONE PLAN).
 4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

LIGHT POLE FOUNDATION SCHEDULE	
HOUSING HEIGHT ABOVE GRADE 'A'	24'-25'
POLE DIA. 'W'	6" SQUARE (OR PER MANUFACTURER)
# OF FUTURES	SINGLE OR DOUBLE

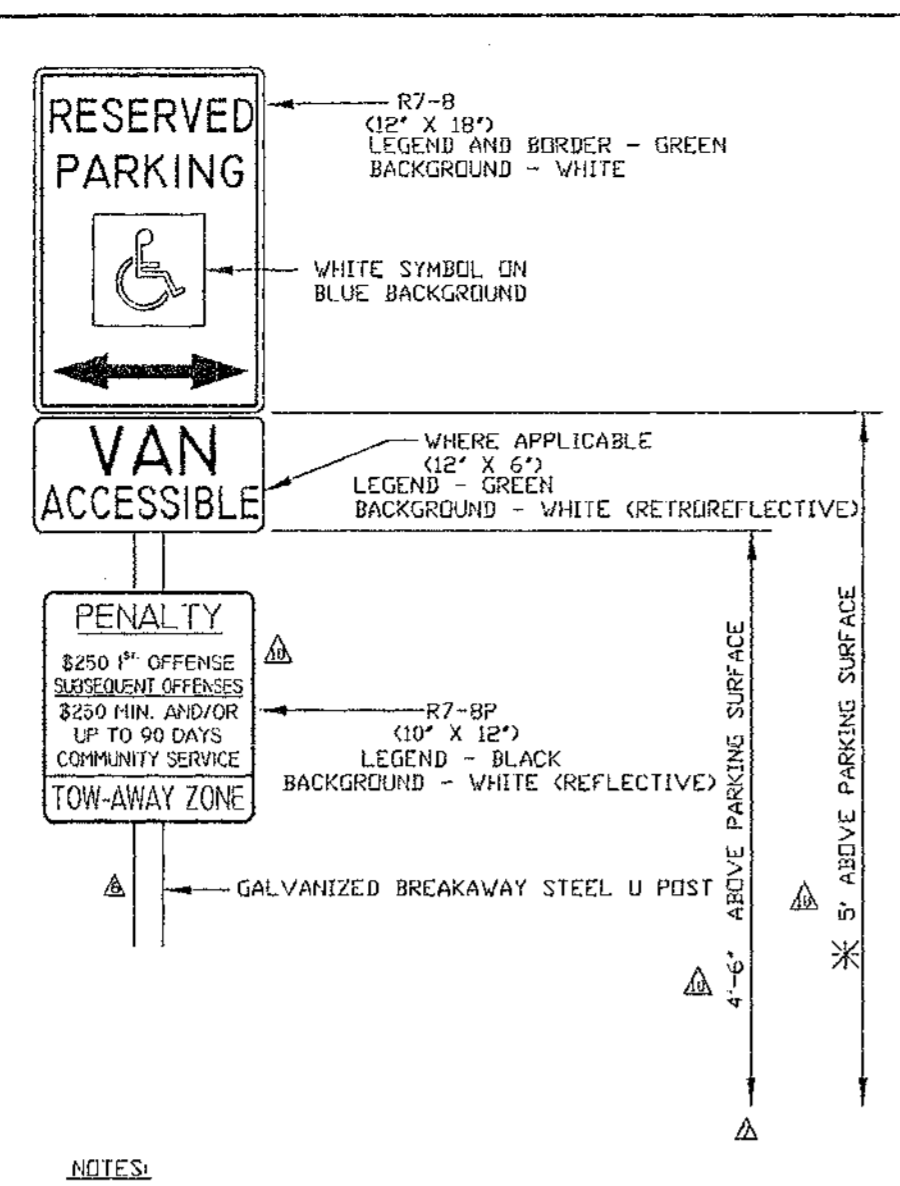
- SOIL NOTES**
- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE ADVISED IF ADEQUACIES EXIST.
 - SUBGRADE TO BE FREE OF OBSTACLES AND BE SOUND, COMPACTED MATERIAL.
- CONCRETE NOTES**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOUNDINGS.
 - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (MINIMUM 1% TOLERANCE), CONFORMING TO ASTM C260.
 - REINFORCING FOUNDATION AND PLACEMENT OF CONCRETE SHALL COMPLY WITH 2000 CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL CONCRETE CODES AND REGULATIONS AS WELL AS THE NJ AND FEDERAL BUILDING CODES.

AREA LIGHT FOUNDATION DETAIL
NOT TO SCALE



PAVING DETAIL
NOT TO SCALE

NOTE: 1. ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019.
 2. OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC AT (908) 879-7005 (HAMILTON) - (609) 426-1100 (MERCER) AT ONSET OF CONSTRUCTION TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
 3. SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND FRODOILED WITH A LOADED SHAKE TABLE TO A FIRM AND UNDEFLECTING CONDITION. UNSUBSIEVE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SURFACE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
 4. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.



ACCESSIBLE PARKING SIGN
NOT TO SCALE

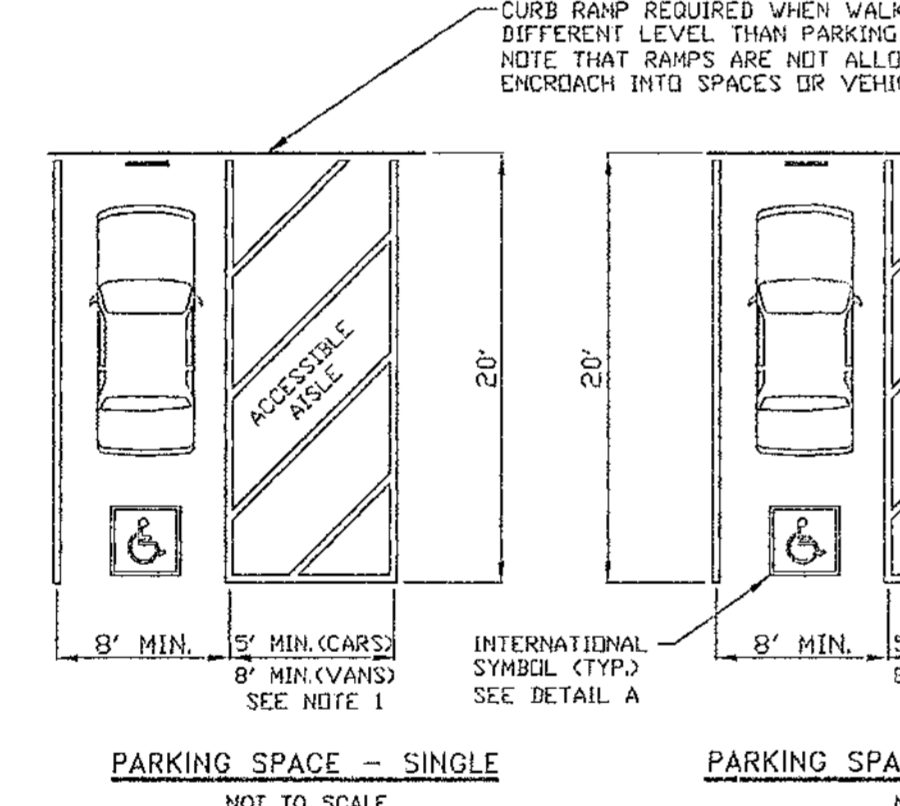
NOTES:
 1 - SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 2 - 8' WHEN SIGN IS PERPENDICULAR TO THE SIDEWALK.

PARKING SPACES

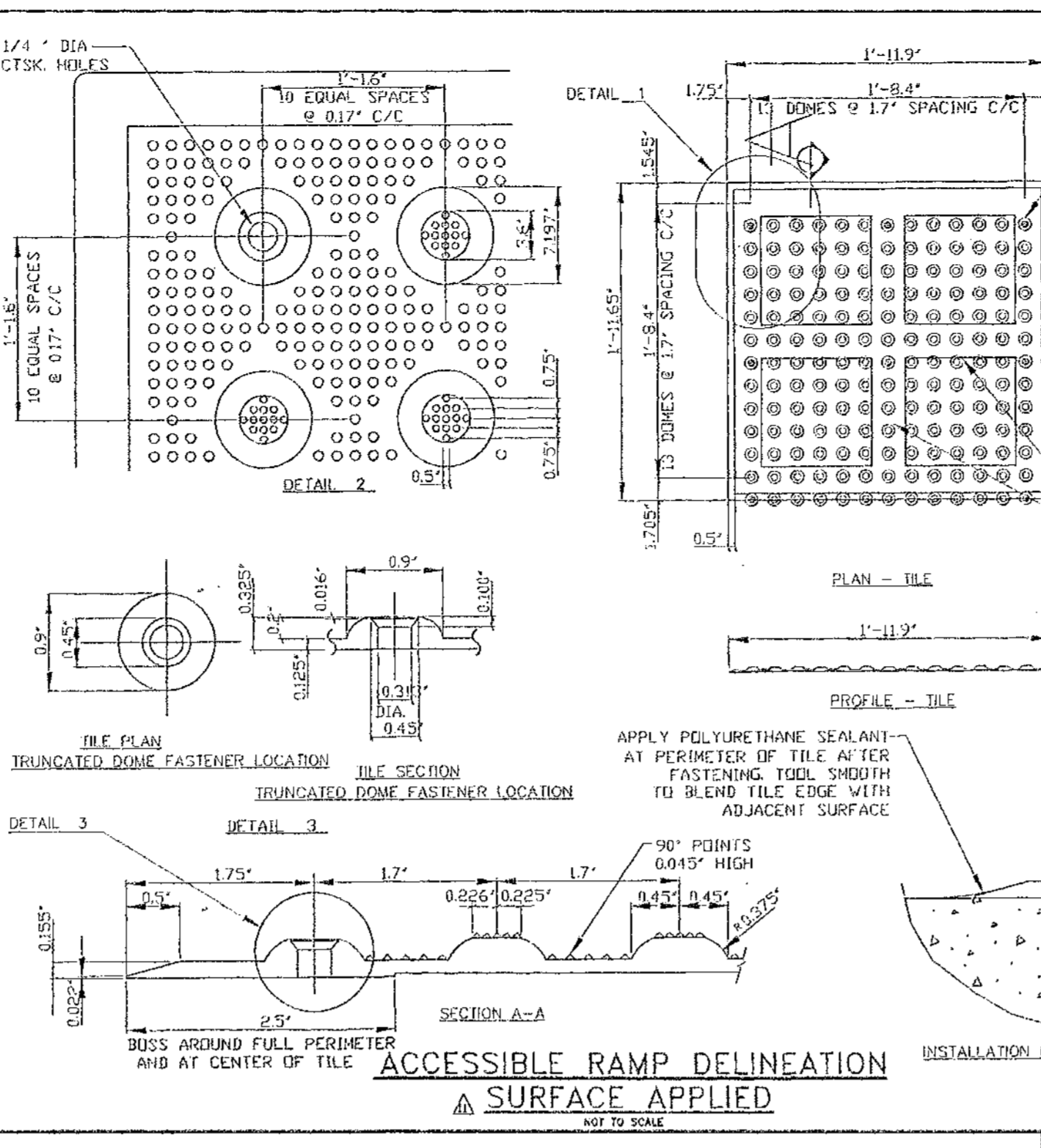
TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2 PERCENT OF TOTAL OVER 1000

VAN ACCESSIBLE

ONE IN EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE RAMP EIGHT (8) FEET WIDE MINIMUM AND SHALL BE DESIGNATED AS "VAN ACCESSIBLE".

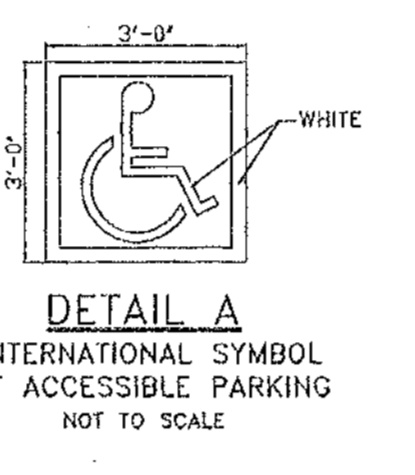


PARKING SPACE - DETAILS
NOT TO SCALE

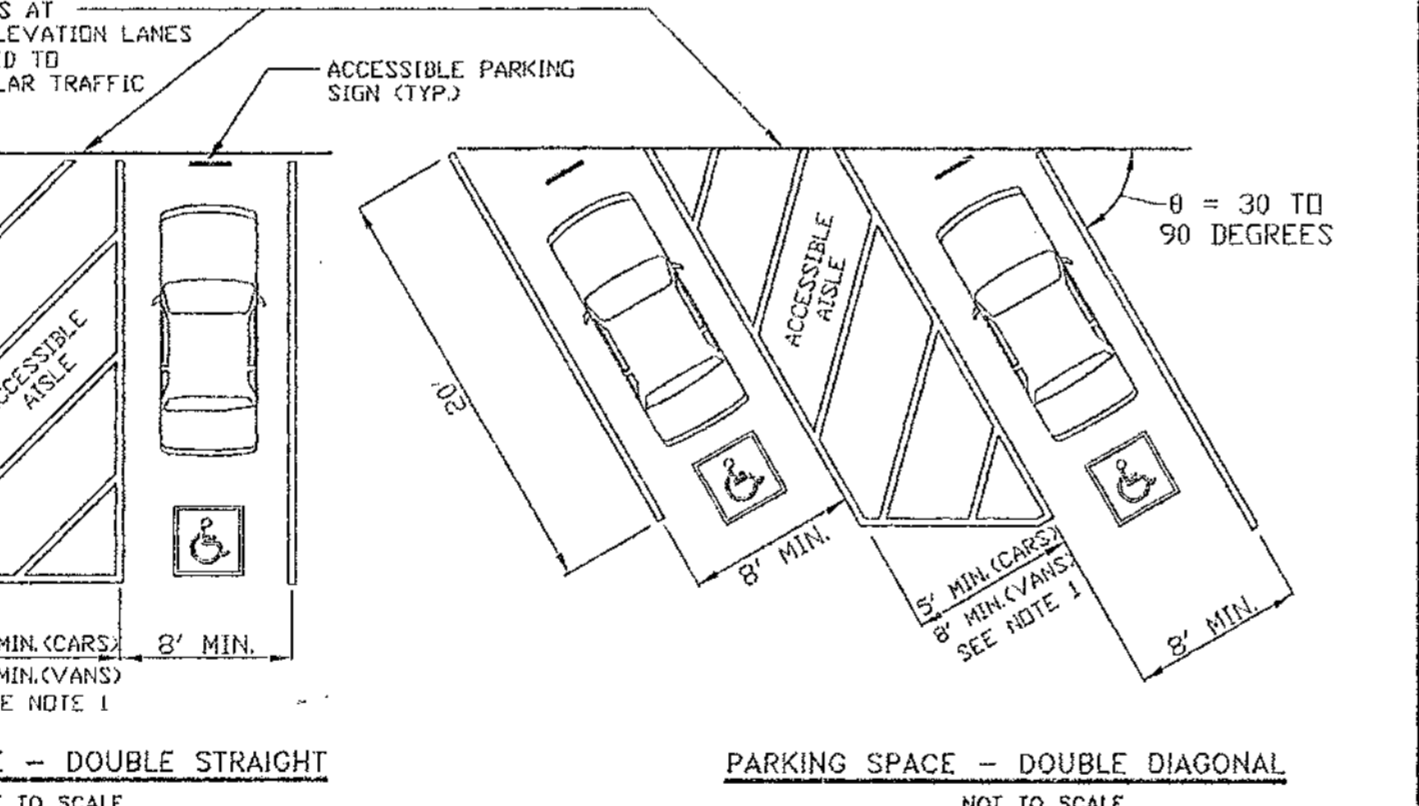


ACCESSIBLE RAMP DELINEATION SURFACE APPLIED
NOT TO SCALE

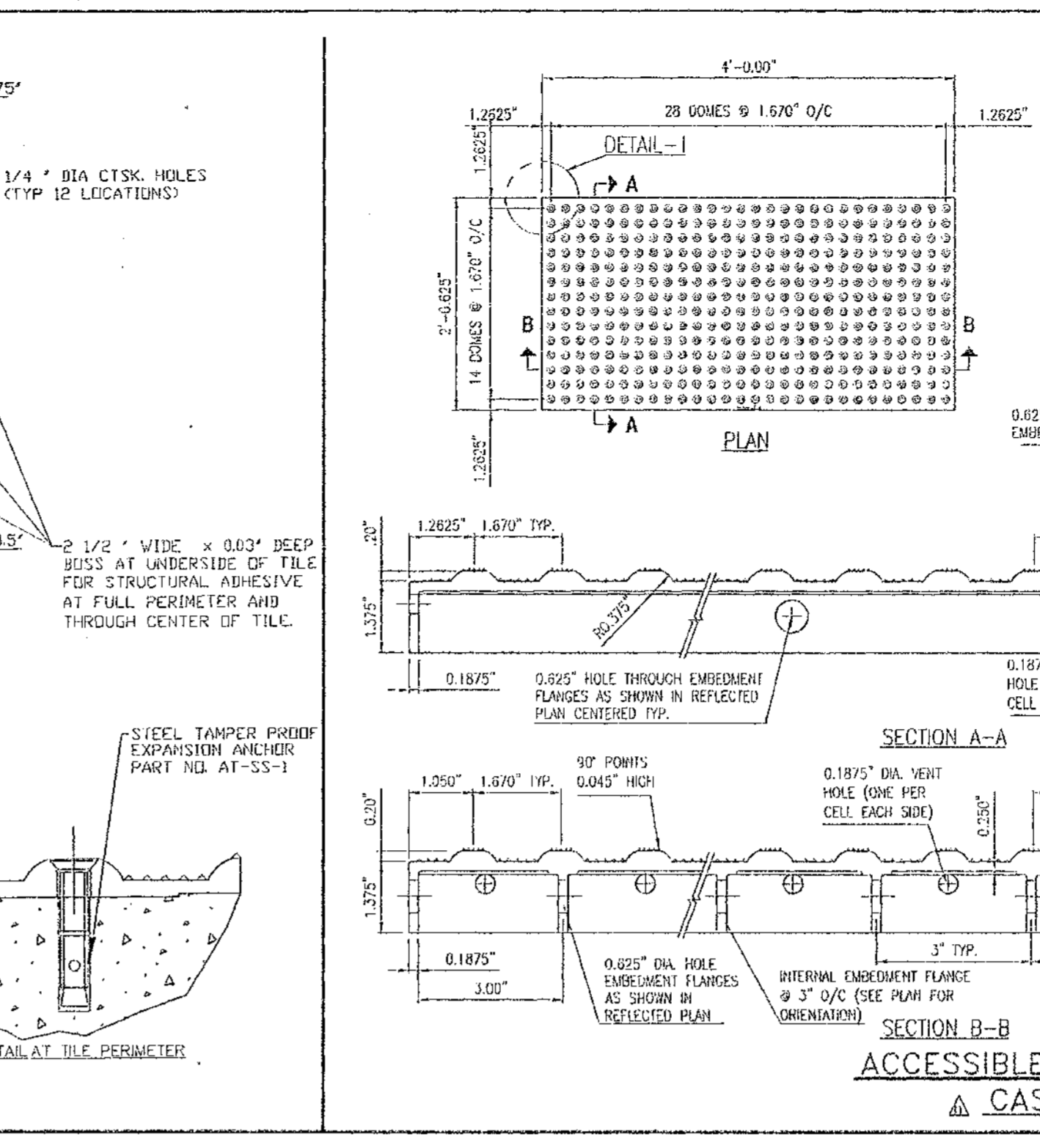
- GENERAL PARKING NOTES:**
- AT LEAST ONE SPACE SHALL BE VAN ACCESSIBLE.
 - BUMPER REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED WHICH WILL PREVENT ENCROACHMENT OF CARS OVER WALK WAY.
 - TWO PERCENT (2%) MAXIMUM CROSSFALL ALLOWED IN PARKING SPACE AND ACCESS AISLE.
 - LOADING/UNLOADING AREA MUST CONNECT TO AN ACCESSIBLE PATH OF TRAVEL.
 - ALL STRIPING SHALL BE 4" WIDE WHITE LONG LIFE THERMOPLASTIC.
 - ALL ACCESS AISLES ADJACENT TO ACCESSIBLE SPACES SHALL BE FIVE (5) FEET WIDE MINIMUM.



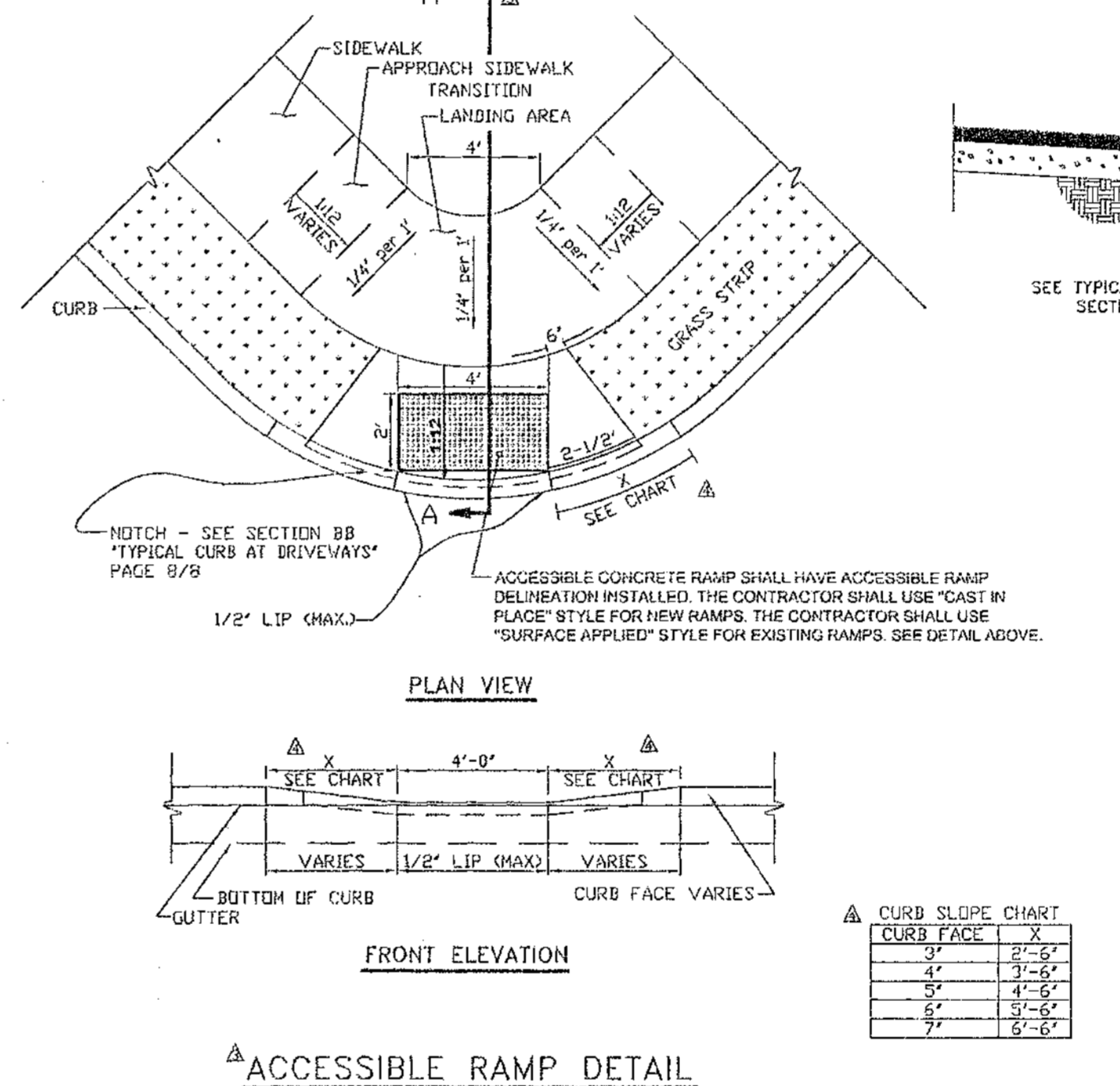
DETAIL A INTERNATIONAL SYMBOL OF ACCESSIBLE PARKING
NOT TO SCALE



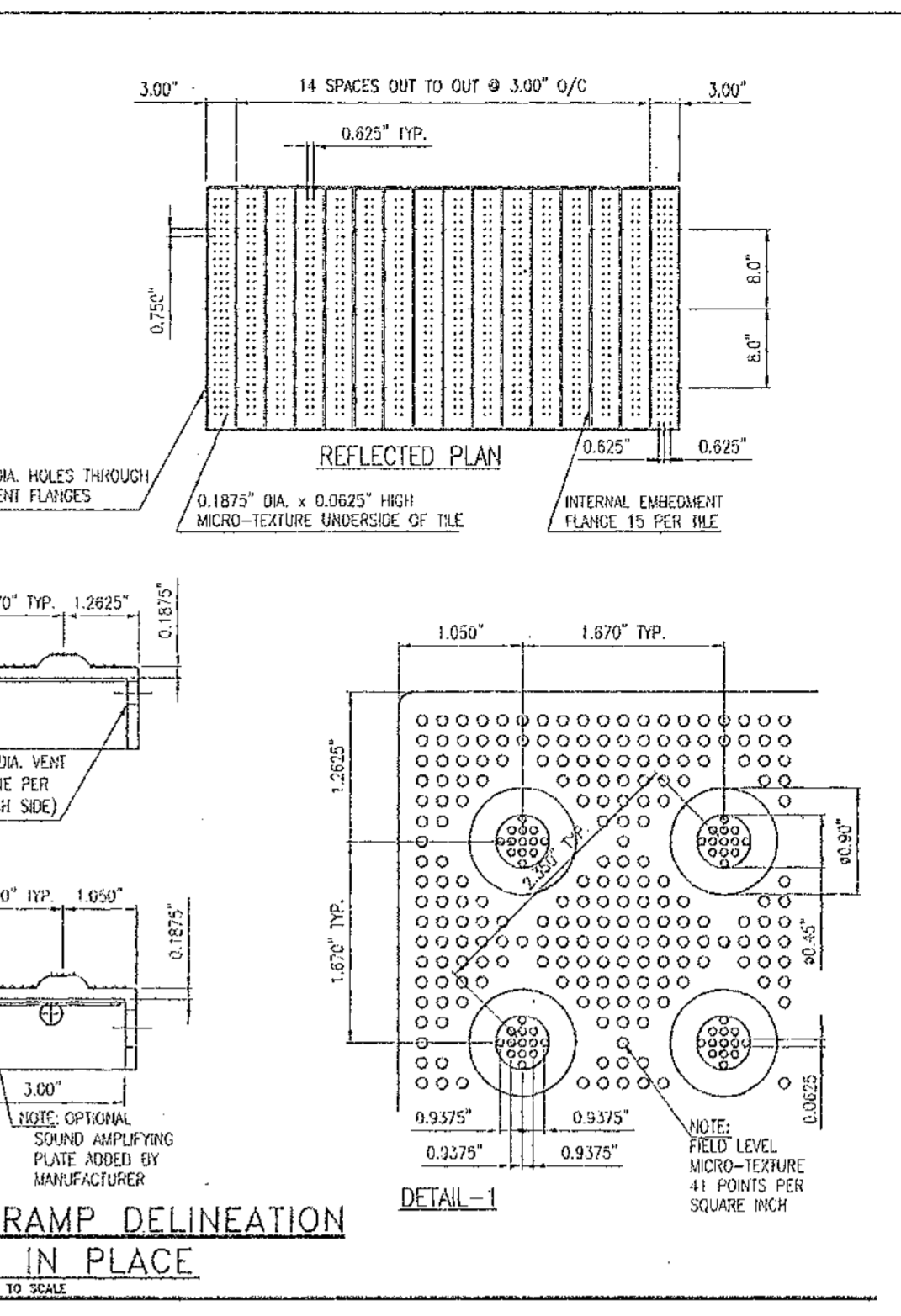
ACCESSIBLE RAMP DETAIL
NOT TO SCALE



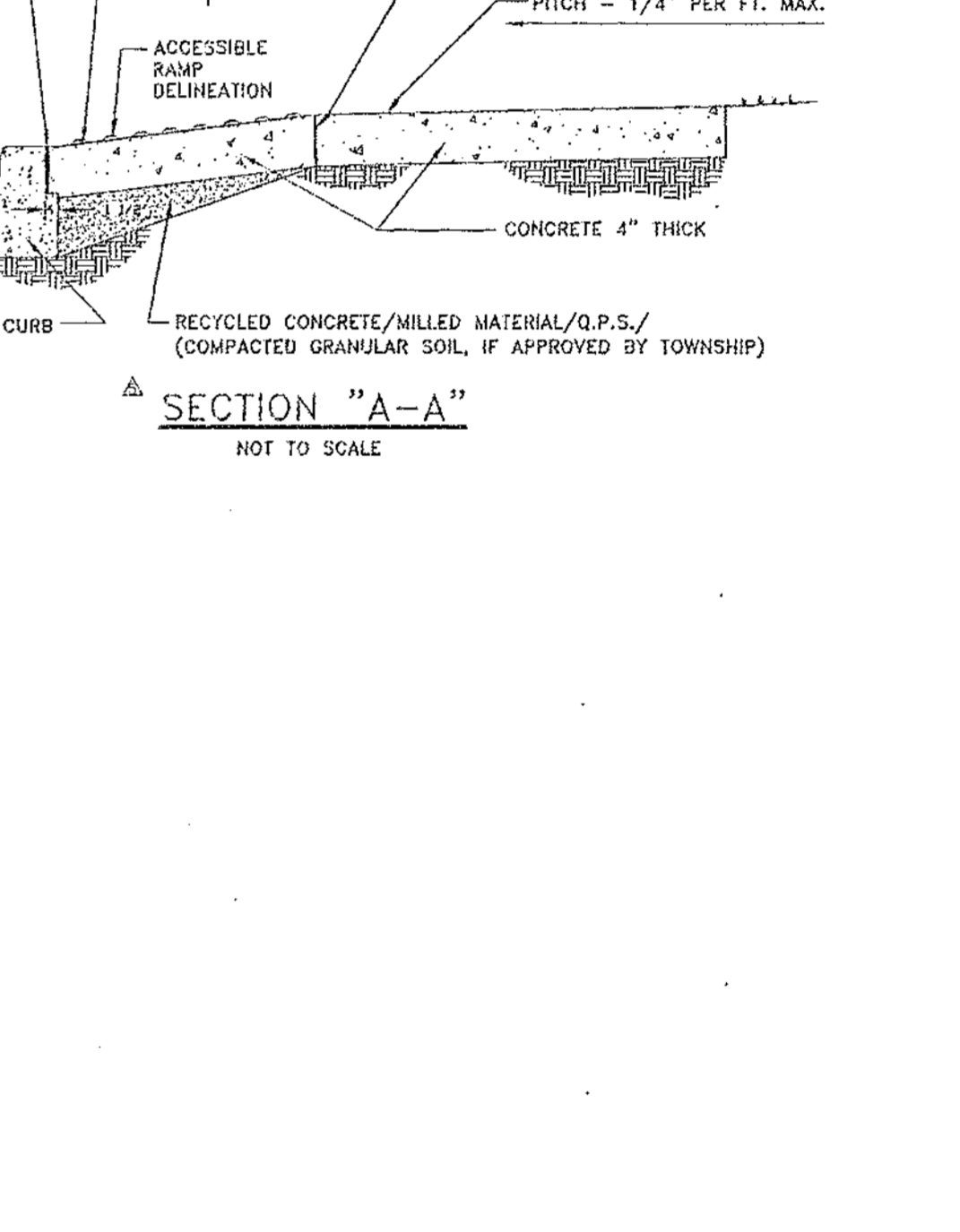
ACCESSIBLE RAMP DELINEATION CAST IN PLACE
NOT TO SCALE



ACCESSIBLE RAMP DETAIL
NOT TO SCALE



REFLECTED PLAN, SECTION A-A, SECTION B-B
NOT TO SCALE



SECTION 'A-A'
NOT TO SCALE

ALL DETAILS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT

Engineering & Construction
 1670 ROUTE 34, SUITE 3A
 WALL TOWNSHIP, NJ 07727
 TEL: 732.282.0014
 WWW.S2ENGINEERING.COM

PROPOSED BREWERY
 19 OLD POST LANE
 COAST LAND DEVELOPMENT
 BLOCK 2739, LOT 14
 HAMILTON TOWNSHIP, MERCER COUNTY, NEW JERSEY

Scale: As Noted | Date: 2022.03.18
 Drawing Name: CONSTRUCTION DETAILS

TOWNSHIP APPROVAL
 APPROVED BY THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY

TOWNSHIP ENGINEER: [Signature] DATE: 3/23/22
 TOWNSHIP PLANNER: [Signature] DATE: 3/23/22

3
 Sheet No.
 Total Sheets
 3

LINO DEALMEIDA III
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW JERSEY LICENSE NO. GE46375

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of No. 240242628200
 3D Engineering & Construction assumes no liability for the use of other than the person who originally contracted the work.

DESIGNED: LD | DRAWN: LD | CHECKED: DC | APPROVED: LD

DATE: _____

By: _____

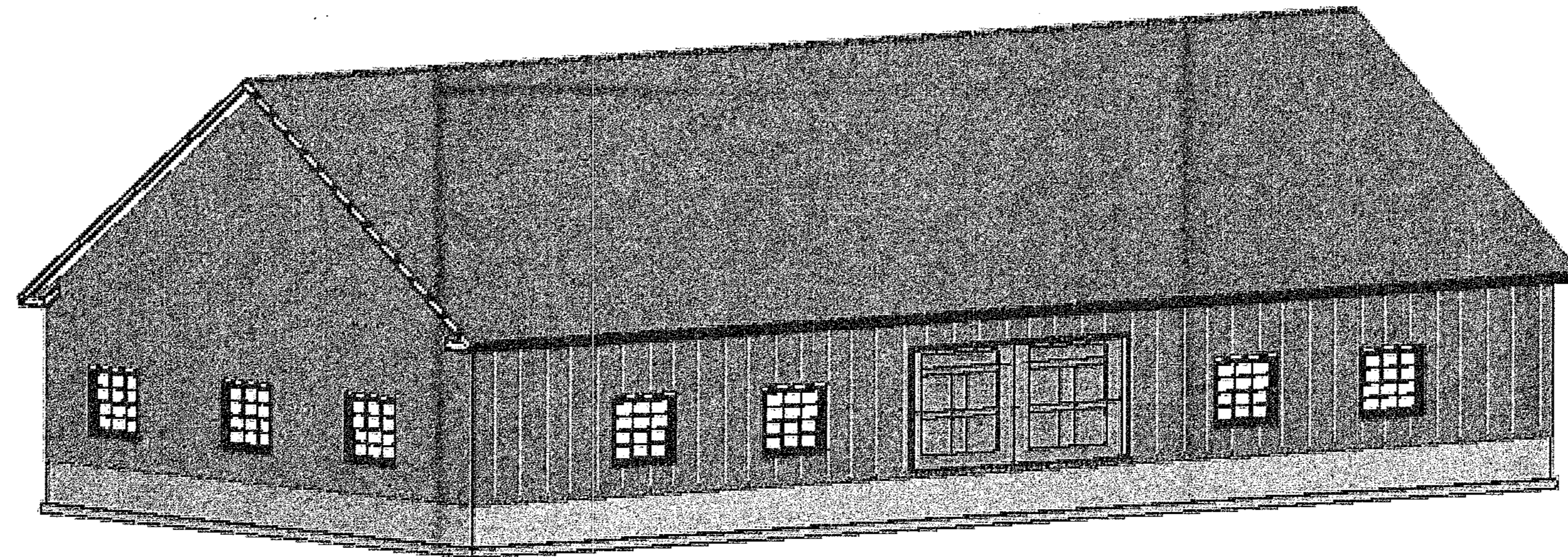
****Note: Front and Rear Elevations Will Be the Same**
 The Intention is to be able to have both sets of Barn Doors open so you can see through Building to the Amenity Area

Hours of Operation

Monday - Closed
 Tuesday - Closed
 Wednesday - Closed
 Thursday - Noon to 9PM
 Friday - Noon to 9PM
 Saturday - Noon to 9PM
 Sunday - Noon to 6PM

Material List

Siding: Metal
 Color: Grey
 Roof: Metal
 Color: Black
 Doors: Wood Barn Doors
 Color: Natural
 Windows: Vinyl
 Color: White



Township Approval
 Approved by the Township of Hamilton, New Jersey

[Signature] 3-24-22
 Administrative Officer Date

[Signature] 3/23/22
 Township Engineer Date

[Signature] 3/23/22
 Township Planner Date

3D Engineering and Construction
 1670 Route 34, Suite 3A
 Wall Township, NJ 07727
 Tel: 732-282-0014
 Fax: 732-282-1102
 WWW.3DENGINEERING.COM



LINO DEALMEIDA III
 Licensed Professional Engineer
 State of New Jersey
 License NO. GE49375

DATE

These drawings have been reviewed for general conformance with the design concept of the project & with the information provided in the approved site plans

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of Authorization
 No. 24GA28208200

3D Engineering and Construction assumes no liability for the use of this drawing by anyone other than the person(s) who originally contracted the work.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: Front & Rear View

PROJECT DESCRIPTION: Coast Nursery: Brewery

DRAWINGS PROVIDED BY: LD

DATE:

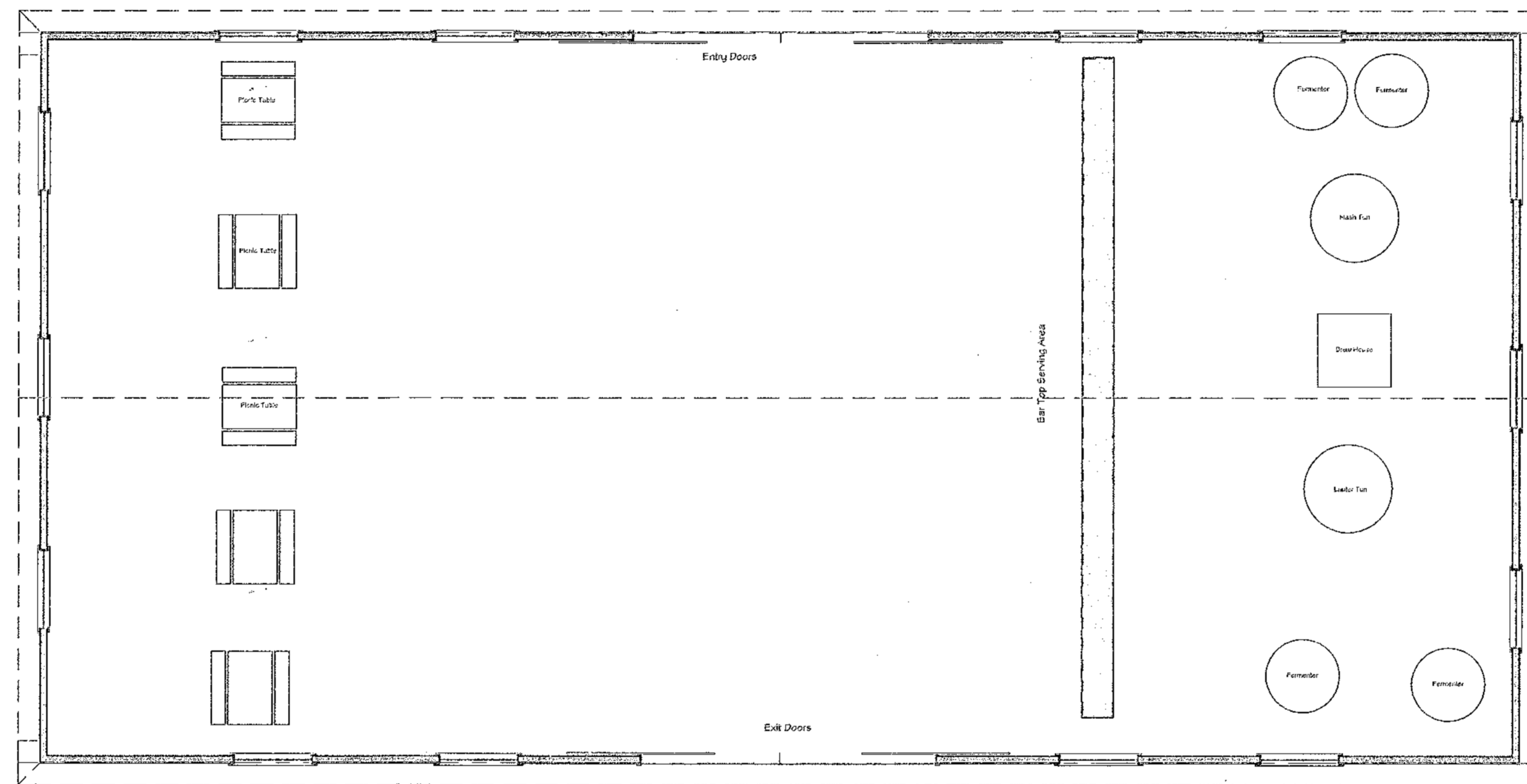
9-16-21

SCALE:

Not To Scale

SHEET:

SH-1



1st Floor

Township Approval
 Approved by the Township of Hamilton, New Jersey

[Signature] 3-24-22
 Administrative Officer Date

[Signature] 3/23/22
 Township Engineer Date

[Signature] 3/23/22
 Township Planner Date

3D Engineering and Construction
 1670 Route 34, Suite 3A
 Wall Township, NJ 07727
 Tel: 732-282-0014
 Fax: 732-282-1102
 WWW.3DENGINEERING.COM



LINO DEALMEIDA III
 Licensed Professional Engineer
 State of New Jersey
 License NO. GE49375

DATE _____

These drawings have been reviewed for general conformance with the design concept of the project & with the information provided in the approved site plans

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of Authorization
 No. 24GA28208200

3D Engineering and Construction assumes no liability for the use of this drawing by anyone other than the person(s) who originally contracted the work.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Brewery: Floor Plan

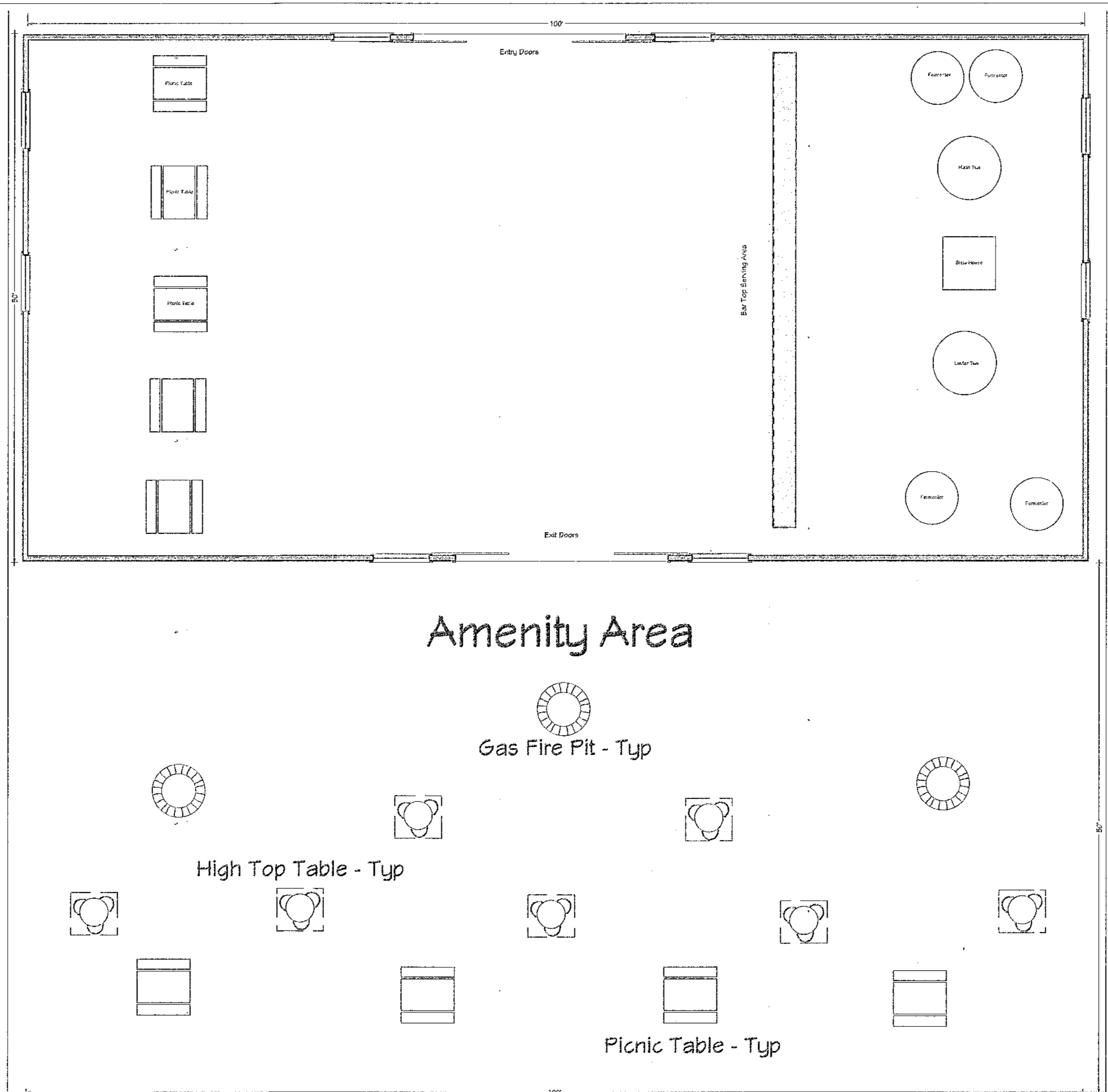
PROJECT DESCRIPTION:
Coast Nursery: Brewery

DRAWINGS PROVIDED BY:
LD

DATE:
 9-16-21

SCALE:
 Not to Scale

SHEET:
SH-2



Township Approval
 Approved by the Township of Hamilton, New Jersey
[Signature] 3-24-21
 Administrative Officer Date

[Signature] 3/23/21
 Township Engineer Date

[Signature] 3/23/21
 Township Planner Date

1st Floor

3D Engineering and Construction
 1670 Route 34, Suite 3A
 Wall Township, NJ 07727
 Tel: 732-282-0014
 Fax: 732-282-1102
 WWW.3DENGINEERING.COM



LINO DEALMEIDA III
 Licensed Professional Engineer
 State of New Jersey
 License NO. GE49375

DATE _____

These drawings have been reviewed for general conformance with the design concept of the project & with the information provided in the approved site plans

New Jersey State Board of Professional Engineers and Land Surveyors Certificate of Authorization No. 24GA28208200

3D Engineering and Construction assumes no liability for the use of this drawing by anyone other than the person(s) who originally contracted the work.

NO.		DESCRIPTION		BY	DATE
SHEET TITLE: SH-3					
PROJECT DESCRIPTION: Coast Nursery - Brewery					
DRAWINGS PROVIDED BY: LD					
DATE: 11-12-2					
SCALE: 1/8" = 1'					
SHEET: SH-3					

BENT IRON

BREWING COMPANY

Ingredients

- Hops
- Barley
- Water
- Yeast

Projected Sales: Year 1

Projected Sales: \$500,000

Cost per Pint: \$8.00

Projected Pints: 62,500 Pints

Pints per Keg: 124

Projected Kegs: 504 Kegs

Kegs per Brew Cycle: 20

Projected Brew Cycles: 26

Farm Crops Required: Year 1

Hops

Per Brew: 12#

Brew Cycles: 26

Total Hops: 312#

Required Hops: 160#

Barley

Per Brew: 600#

Brew Cycles: 26

Total Barley: 15,600#

Required Barley: 7,956#

Current Crop Farming Details

Hops

Size: ½ Acre Hop Yard

Established 2022 and has yielded (2) Years of crops

Production: 1,000# per half acre

Required Hops: 160# per year

Barley

Size: 5 Acres

Established 2023

Production: 12,000# per year

Required Barley: 7,956#

Notes

1. Both hop and barley production far exceed our 51% requirement.
2. We plan to double our hop yard and barley acreage to prepare for increased demand.

Nutrient Management Plan

Prepared For

**Bent Iron Brewing Company
(2023, 2024, & 2025 Crop Years)**

**Site Address:
70 Extonville Road
Hamilton, NJ 08620**

**Mailing Address:
PO Box 222
Allentown, NJ 08501**

Office: (609) 529-6520

Prepared By

**AET Consulting, Inc.
PO Box 299
Lititz, PA 17543-0299
(717) 625-2218
William J Rogers**

**Date of Development: August 23, 2022 (2023 Crop Year)
Plan Expires: October 1, 2026**



Agricultural Consulting

Nutrient Management Plan (Brewery Waste)

Field	Acres	Current Crop	Nitrogen Need	Residual Nitrogen	BWW Waste	Application Season	Days to Incorporation	Maximum Application Rate (gal/acre)	Supplemental Fertilizer (lb/A)		
									N	P ₂ O ₅	K ₂ O
1	5.0	Orchard	50	17	Brewery Waste	Any	None	4,100	0	0	100
2	9.4	Orchard	50	17	Brewery Waste	Any	None	4,100	0	0	0
3	12.2	Orchard	50	17	Brewery Waste	Any	None	4,100	0	0	100

PAN (Pounds of Available Nitrogen) Calculations:

$$\begin{aligned}
 &= (0.35 \times \text{Organic N}) + (1.00 \times \text{Ammonium N}) + (1.00 \times \text{Nitrate N}) \\
 &= (0.35 \times 20.0) + (1.00 \times 0.0) + (1.00 \times 0.0) \\
 &= 7 \text{ lb. / 1,000 gallons}
 \end{aligned}$$

Notes:

- These planned applications need to be evenly spread over the entire field.
- 4,100 gallons per acre is equal to 5 loads of the 820 gallon T75 HydroSeeder® planned for applications.
- 1 load (820 gallons) provides 5.74 lb. N – 2.87 lb. P₂O₅ – 1.39 lb. K₂O
- The season of application is not important since the ammonium and nitrate concentrations in the waste are negligible.

Maximum ANNUAL P₂O₅ Applications in lb/acre

The values listed in this table are the maximum annual P₂O₅ that can be applied based on the P-Site Index and No Incorporation of the material.

Field	lb P ₂ O ₅ /acre	BWW (gal/acre)
1	71	20,286
2	65	18,571
3	54	15,428

Note:

- For the Index calculations a 'worst case; scenario has been utilized
- Using this scenario, the maximum P application rate is greater than the N rate so the N rate is the planned application rate.

Brewery Waste Analysis Results Summary

Date	Total Nitrogen	Ammonium N (N-NH ₄)	Nitrate N (N-NO ₃)	Organic N	Total Phosphate (P ₂ O ₅)	Total Potash (K ₂ O)	Percent Solids
	lb. / 1,000 gal						
July 6, 2022	20.0	0	0	20.0	3.5	1.7	2.12

Soil Test Results Summary

Field	Date Sampled	Soil Test Levels		
		pH	P – ppm	K – ppm
1	07/06/2022	5.6	10	30
2	07/06/2022	6.4	35	99
3	07/06/2022	5.6	80	79
Optimum Range		5.5 – 6.5	75 – 125	175 - 250

Nutrient Management Plan Narratives

Operation Narrative

This farm is planning to land apply the Brewery Wash Water (BWW) that is produced at the Brewery on this farm, the majority of this BWW is produced as washwater generated from rinsing out the brew house and fermenter tanks. This washwater will also include food grade cleaners. The BWW will be collected and land applied using a T75 Hydroseeder tanker (estimated at 820 gallons). Using this tanker, each acre of the orchard can receive 5 loads per acre.

The objective of this plan is twofold, first to make sure that nutrients from the BWW are not over applied on the farm such that there is a negative impact on the environment and secondly to make sure that the planned crops are provided all the nutrients they need for maximum yields. This is completed through on-going soil sampling and BWW waste analysis so that applications are balanced to meet nutrient needs.

The BWW will include the waste from the brewery along with minor amounts of cleaners used to clean the equipment used to make and package the beer. This is similar to how a dairy utilizes cleaners in the milk house to clean the milking tanks and milking equipment.

Plan Implementation Requirements

This nutrient management plan was developed using the best information available at the time of plan development. Ongoing sampling of the application fields and waste should be completed to verify the assumptions made within this plan. **RECORD KEEPING: Records to be maintained for this nutrient management plan include: (these should be maintained for a minimum of three years)**

- 1) Soil, Plant Tissue, and BWW Analyses resulting in new recommendations for the nutrient applications
- 2) Quantities, analyses, and sources of nutrient applied (both BWW Waste and Fertilizer)
- 3) Dates and method of all nutrient applications.
- 4) Lapsed time between BWW application and incorporation, rainfall, or irrigation events.
- 5) Crops planted, planting and harvest dates, yields, and crop residues removed.
- 6) Dates of plan review, name of reviewer, and recommended changes resulting from the review.

PLAN REVIEWS:

- 1) This plan should be reviewed and revised annually as soil test, BWW analysis, and residual nitrogen calculations will change.
- 2) If a significant change is made in the type of waste product being applied, this plan might need to be reviewed and revised within the growing year.

Phosphorus Site Index

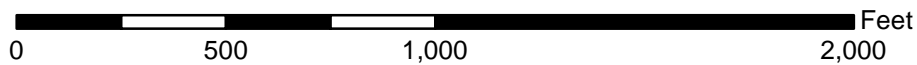
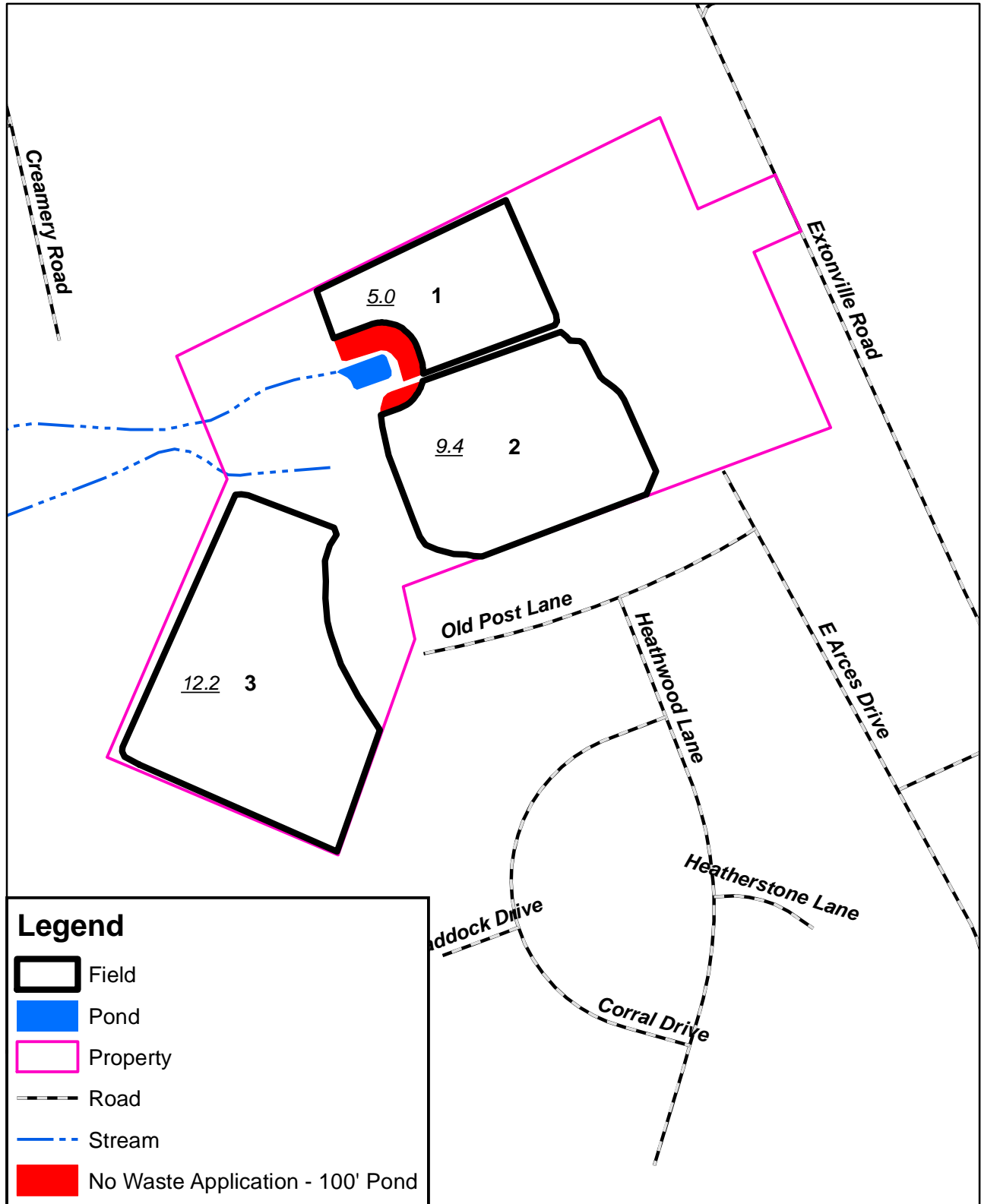
For all fields, a worst case scenario has been run through the index (Higher Risks selected then most likely planned). Even with the worst case scenario selected, the P application rate is higher than the N application rate, so the N application rate must be utilized.

Soil test phosphorus levels were determined by Spectrum Analytic Inc. (Washington Court House, OH) using standard accepted soil testing methods (Mehlich III).

	A	B	C	D	E	F	G	H	I
1	Pennsylvania P Index Version 2 (October 2009; Penn State, Dept. Crop & Soil Sciences & USDA-ARS, Pasture Systems & Watershed Mgmt. Research Unit)								
2									
3	FARM IDENTIFICATION		PART A: SCREENING TOOL			CMU/Field ID	1	2	3
4			Is the CMU in a Special Protection watershed?			If the answer is Yes to any of these questions, Part B must be used.	No	No	No
5			Is there a significant farm management change as defined by Act 38? (see below)				No	No	No
6			Is the Soil Test Mehlich 3 P greater than 200 ppm P? (enter soil test value in ppm)				10	35	80
7			Is the Contributing Distance from this CMU to receiving water less than 150 ft.?				Yes	Yes	Yes
8			The following Act 38 criteria determine when there is a significant farm management change:			Part B	Part B	Part B	
9			1. net increase of greater than 10% in AEU's per acre						
10			2. a change in crop management that results in a farmwide reduction of greater than 20% in nitrogen necessary for realistic expected crop yields						
11			3. alternative organic sources will replace all or some of the nutrient sources listed in the plan						
12			4. additional lands are brought into the operation (purchased or rented)						
13	PART B: SOURCE FACTORS					CMU/Field ID	1	2	3
14	SOIL TEST	Mehlich 3 Soil Test P (ppm P)					10	35	80
15	Soil Test Rating = 0.20* Mehlich 3 Soil Test P (ppm P)						2	7	16
16	FERTILIZER P RATE	Fertilizer P (lb P ₂ O ₅ /acre)							
17	P Applied from multiple fertilizer applications, if any (From Multiple Applications Calculator)						0	0	0
18	FERTILIZER APPLICATION METHOD	0.2 Placed or injected 2" or more deep	0.4 Incorporated <1 week following application	0.6 Incorporated > 1 week or not incorporated following application in April - October	0.8 Incorporated >1 week or not incorporated following application in Nov. - March	1.0 Surface applied to frozen or snow covered soil			
19	Fertilizer Rating = Fertilizer Rate x Fertilizer Application Method						0	0	0
20	MANURE P RATE	Manure P (lb P ₂ O ₅ /acre)					14.35	14.35	14.35
21	P Applied from multiple manure applications, if any (From Multiple Applications Calculator)						0	0	0
22	MANURE APPLICATION METHOD	0.2 Placed or injected 2" or more deep	0.4 Incorporated <1 week following application	0.6 Incorporated > 1 week or not incorporated following application in April - October	0.8 Incorporated >1 week or not incorporated following application in Nov. - March	1.0 Surface applied to frozen or snow covered soil	1	1	1
23	P SOURCE COEFFICIENT	Refer to: Test results for P Source Coefficient OR Book values from P Index Fact Sheet Table 1					0.8	0.8	0.8
24	Manure Rating = Manure Rate x Manure Application Method x P Source Coefficient						11	11	11
25	Source Factor Sum						13	18	27
26	PART B: TRANSPORT FACTORS					CMU/Field ID	1	2	3
27	EROSION	Soil Loss (ton/acre/yr)					3	3	3
28	RUNOFF POTENTIAL	0 Drainage Class is Excessively	2 Drainage Class is Somewhat Excessively	4 Drainage Class is Well/Moderately Well	6 Drainage Class is Somewhat Poorly	8 Drainage Class is Poorly/Very Poorly	4	4	4
29	SUBSURFACE DRAINAGE	0 None or No direct outlet to receiving water	1 Random Drainage - Outlets directly to receiving water	2 Patterned drainage - Outlets directly to receiving water	3 Patterned drainage - Outlets directly to receiving water	4 Patterned drainage - Outlets directly to receiving water	0	0	0
30	CONTRIBUTING DISTANCE	0 > 500 ft.	2 350 to 500 ft.	4 200 to 349 ft.	6 100 to 199 ft. OR < 100 ft. with 35 ft. buffer	9 ⁺ < 100 ft.	9	9	9
31	Transport Sum = Erosion + Runoff Potential + Subsurface Drainage + Contributing Distance						16	16	16
32	MODIFIED CONNECTIVITY	0.85 50 ft. Riparian Buffer APPLIES TO DIST < 100 FT	1.0 Grassed Waterway or None	1.1 Direct Connection APPLIES TO DIST > 100 FT	1.2 Direct Connection APPLIES TO DIST > 100 FT	1.3 Direct Connection APPLIES TO DIST > 100 FT	1.0	1.0	1.0
33	* OR rapidly permeable soil near a stream						0.67	0.67	0.67
34	† "9" factor does not apply to fields with a 35 ft. buffer receiving manure.						17	24	36
35	MANAGEMENT GUIDANCE		Optional Calculators						
36	P Index Rating: Values	Nutrient Application Guidance		User Inputs 1. Manure Units (gal/A or T/A)					
37	Low: 59 or less	Nitrogen based management		2. N plan manure rate (units above)					
38	Medium: 60 to 79	Nitrogen based management		3. Manure P analysis (units above lb P ₂ O ₅)					
39	High: 80 to 99	Phosphorus limited to crop removal		P Applied at N Rate listed above in (2) (lb P ₂ O ₅ /A)			0	0	0
40	Very High: 100 or greater	No Phosphorus applied							

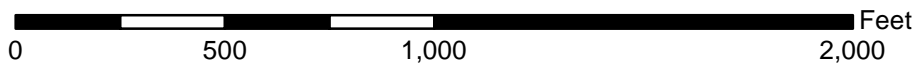
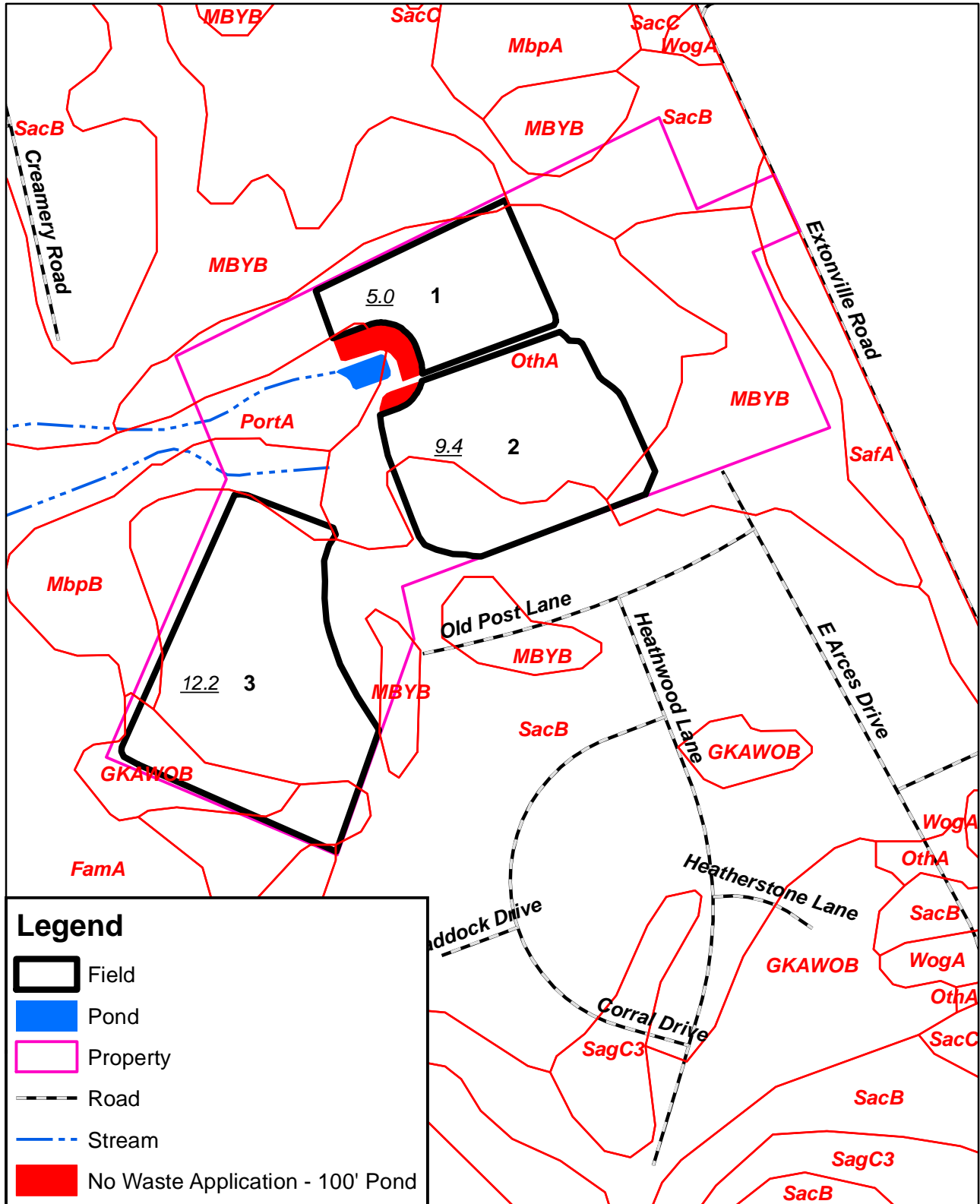
Peter Brittain

Brewery Waste Application



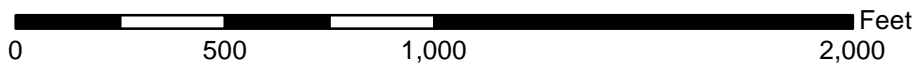
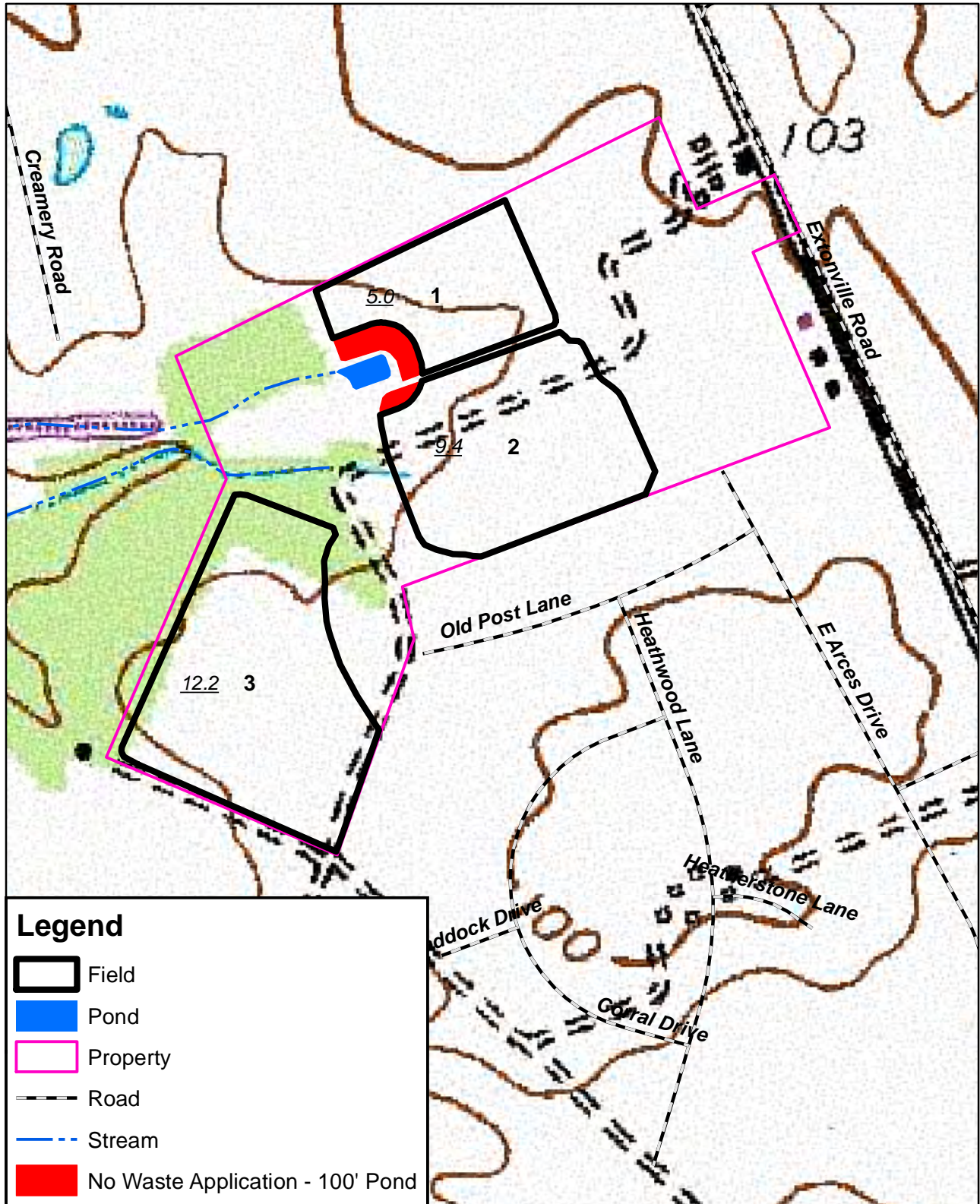
Peter Brittain

Brewery Waste Application



Peter Brittain

Brewery Waste Application





AET CONSULTING INC
PO BOX 299
LITITZ, PA 17543

Prepared For
PETER BRITTAIN

Sample Information			
Lab Number	FF60100	Sampled	06-04-2022
Sample	BREWERY WASTE	Tested	07-06-2022
Manure Type	Unspecified, Liquid		

Certificate of Analysis Manure

Analysis	Result	Unit	Nutrients lbs/1000 gal	Available 1st Yr ³ lbs/1000 gal	Nutrients lbs/acre-inch	Available 1st Yr ³ lbs/acre-inch
Moisture	97.88	%				
Nitrogen, Total	.23	%	20.0	- ¹	520	- ¹
Nitrogen, Ammonium	< 0.01	%	0	0 ¹	0	0 ¹
Nitrogen, Organic	.23	%	20.0	- ¹	520	- ¹
Phosphorus [P2O5], Total	.04	%	3.5	- ¹	90	- ¹
Potassium [K2O]	.02	%	1.7	- ¹	50	- ¹

(1) Estimates of 1st year nutrient availability are unavailable if manure type is not specified.
(2) Estimates of 1st year nutrient availability of "Total Nitrogen" are unavailable if no "Ammonium Nitrogen" test is run.
(3) Estimates of 1st year nutrient availability do not take into consideration losses in handling and storage prior to incorporation. Nutrient Management Plan guidelines use 100% availability the 1st year for phosphorus and potassium. Actual 1st year availability varies from 40-90% depending on manure type, soil temperature, moisture and other factors. When using manure credits in fertility programs other than NMP, consult state publications, MWP-18, "Livestock Waste Facilities Handbook" or Spectrum Analytic for more specific 1st year availability percentages.
(4) Source: MWP-18, "Livestock Waste Facilities Handbook"
(5) Source: A3411, "Manure Nutrient Credit Worksheet", University of Wisconsin



AET Consulting Inc

Soil Analysis Report

Report To
AET CONSULTING INC
 PO BOX 299
 LITITZ, PA 17543

Prepared For
PETER BRITTAIN

Sampled 06-04-2022
 Tested 07-06-2022

Sample Number	Lab Number	Soil pH	pH Buffer	Organic Matter %	Analysis Result* and Rating			Base Saturation				Mehlich-3 PPM and Rating						
					Phosphorus P	Potassium K	Magnesium Mg	Calcium Ca	CEC	K %	Mg %	Ca %	Sulfur S	Boron B	Zinc Zn	Iron Fe	Copper Cu	Mang. Mn
1	F13500	5.6	7.0	0.7	10 L	30 L	94 M	482 M	2.6	2.5	26.9	70.6						
2	F13501	6.4	7.2	2.0	35 M	99 M	135 G	1009 G	5.0	4.3	19.9	75.9						
3	F13502	5.6	6.8	1.3	80 G	79 M	95 M	769 G	6.2	2.8	11.3	46.9						

* Results: P, K, Mg and Ca are extracted by Mehlich-3 (ICP) and are reported in ppm
 Ratings: L=Low M=Medium G=Good H=High V=Very High